

JAN 29 2024

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TOWN OF WOODSTOCK
LAND USE DEPT.

TOWN OF WOODSTOCK
INLAND WETLANDS AND WATERCOURSES AGENCY

RECEIVED

APPLICATION FOR PERMISSION TO CONDUCT A REGULATED ACTIVITY WITHIN AN INLAND WETLAND OR WATER COURSE AREA IN THE TOWN OF WOODSTOCK, CONNECTICUT.

(In accordance with the Woodstock Inland Wetlands and Watercourses Regulations, and the regulations of the Connecticut Department of Environmental Protection)

INSTRUCTIONS: All applicants must complete Section 1 of this application form for preliminary review. The Agency will then notify the applicant of any additional information that may be required and will schedule a public hearing, if necessary. In addition to the information supplied in Section 1, the applicant should submit other supporting facts or documents which may assist the Agency in its evaluation of this proposal.

NO PERMIT SHALL BE TRANSFERRED WITHOUT PERMISSION OF AGENCY.

SECTION I

1. Name of Applicant <u>Dorothy Whitehead</u>	(if not applicant)
Name of Property Owner _____	
Address <u>24 Little Bungee Hill Road</u>	Address _____
<u>Woodstock Valley CT 06282</u>	_____
Telephone # <u>860 707 2991</u>	Telephone # _____

2. Attach a written consent to the proposed activity by the owner, if applicant is not the property owner.

3. Street Location of the Property: .76 acre vacant property across from 23 LBHR
 Specific directions: CT Rte 171 (Somers Tok.) to Lyon Rd, left on Little
Bungee Hill Rd, property is on left.

Utility Pole Number if present: Property is located between CL#1502 and CL#1503
 (Use an additional sheet, if necessary, to draw a sketch showing the property in relation to surrounding roads.)

4. Purpose and Description of Activity for which Authorization is Requested

a. Proposed activity will involve the following: (Check appropriate activity):
 Alteration _____ Construction Deposition or _____ Removal of material _____ Waste Disposal _____

b. Attach a general description of the proposal and identification of each regulated activity for which permit is sought. Include nature, area and a volume of material to be placed, removed or transferred. Lineal measurements of affected watercourses or wetlands must also be given.

c. A detailed site plan of the proposal must be included. Detailed Site Plan is submitted herewith.

d. Purpose of the proposed activity (i.e., a new dwelling, addition to existing dwelling, new business, driveway, etc.):
New 2 Bedroom single family residence w/on site well, on site SDDS
driveway, utilities, grading and E+S controls.

5. Attach a copy of soils map section and copy of U.S. Geological survey map section which contains the proposed activity if any watercourses are altered in any way. Submitted herewith.

6. Names and Addresses of Adjacent Property Owners (attach separate sheet).

Submitted

The undersigned applicant hereby consents to necessary and proper inspections of the above-mentioned property by Agents of the Inland Wetlands and Watercourses Agency, at reasonable times, both before and after the permit in question has been granted by the Agency. In evaluating this application, the Agency has relied on information provided by the applicant and, if such information subsequently proves to be false, deceptive, incomplete and/or inaccurate, this permit may be modified, suspended or revoked.

The undersigned swears that the information supplied in the complete application is accurate to the best of his/her knowledge and belief.

[Signature]
Signature of Applicant

Jan 29 2024
Date

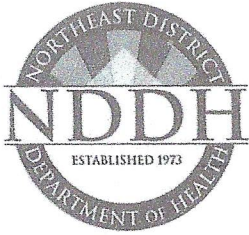
SECTION II

TO BE FILLED IN BY AGENCY

Date Filed _____

Application # _____

Fee: _____



NORTHEAST DISTRICT DEPARTMENT OF HEALTH

69 SOUTH MAIN STREET • UNIT 4 • BROOKLYN, CT 06234
PHONE (860) 774-7350 • FAX (860) 774-1308 • WEB SITE WWW.NDDH.ORG

January 03, 2024

Dorothy Whitehead
9 William Ward Street
Uxbridge, MA 01569

**SUBJECT: FILE #21000211 -- LITTLE BUNGEE HILL ROAD #, MAP #5787, BLOCK #34, LOT #E73,
WOODSTOCK, CT**

Dear Dorothy Whitehead:

The subject plan (BOUNDARIES LLC, WHITEHEAD, PROJ#23-3384, DRAWN DEC. 2023) submitted on 12/20/2023 has been reviewed, as requested. Following completion of this review, it has been determined that the subject plan will meet the requirements of the Technical Standards for a 2-bedroom house based on the following:

1. CT licensed surveyor must stake house, well, benchmark, and septic system, offset stakes to include flow line or bottom of trench elevation.
2. Permanent benchmark to be set within 50 feet horizontally and 12 feet vertically of septic system.
3. A bottom of excavation inspection is required once the topsoil has been removed.
4. A current sieve analysis of select fill material (within past 30 days) must be submitted to the Northeast District Department of Health (NDDH).
5. An engineer/surveyor's As-Built drawing (to include ties to the house) is to be submitted following the final inspection and approval of installation by NDDH.
6. Installer to schedule and be present for the final inspection with NDDH staff. Level to be set up for verification of elevations.
7. Engineer to oversee entire lot development.

This letter is NOT to be construed as an APPROVAL TO CONSTRUCT the septic system and DOES NOT indicate that the Northeast District Department of Health endorses approval for issuance of any building permit.

Prior to the start of construction of the septic system, you must apply for your Approval to Construct Permit and submit the applicable fees to this office. A set of the floor plans of your house must be submitted to NDDH for review. Your CT licensed installer must come in to this department to sign for the permit if we do not have his signature on file. Office hours are Mon - Thurs 8 am - 4 pm, Fri 8 am - Noon.

THE OWNER IS RESPONSIBLE TO SEEK PROPER AUTHORIZATION FROM ALL TOWN AGENCIES PRIOR TO START OF CONSTRUCTION.

Should you have any questions, please do not hesitate to contact this office.

Sincerely,

Maureen Marcoux, RS
Senior Sanitarian ~ NDDH

cc: Woodstock Building Official; Boundaries, LLC



79 Elm Street • Hartford, CT 06106-5127

www.ct.gov/deep

Affirmative Action/Equal Opportunity Employer

Generated by eNDDDB on:
1/29/2024

Rich Audet
Towns: Woodstock
Preliminary Site Assessment: 535910536

Subject: 24 Little Bungee Hill Rd

Current data maintained by the Natural Diversity Database (NDDDB) and housed in the DEEP ezFile portal, indicates that no populations of State Endangered, Threatened, or Special Concern species (RCA Sec. 26-306), and no Critical Habitats have been documented within or in close proximity to the area delineated.

Please be advised that this is a preliminary assessment and not a Natural Diversity Database determination. The purpose of this information is to provide a general planning tool which identifies those species that have been reported and may occur on or near the mapped area. A more detailed application and review will be necessary to move forward with any environmental authorization, permit, license, or registration applications submitted to DEEP. If such review is required, please return to the DEEP's ezFile Portal and select [Natural Diversity Database Review](#) to begin the review process.

This Preliminary Site Assessment does not preclude the possibility that species not previously reported to the Natural Diversity Database may be encountered on the site. You are encouraged to report incidental observations to the Natural Diversity Database using the [appropriate survey form](#) and follow the instructions for submittal. We recommend field surveys be conducted in order to evaluate potential habitat and species presence. Field surveys should be performed by a qualified biologist with the appropriate scientific collecting permits at a time when these target species are identifiable. A report summarizing the results of such surveys should include:

1. Survey date(s) and duration
2. Site descriptions and photographs
3. List of component vascular plant and animal species within the survey area (including scientific binomials)
4. Data regarding population numbers and/or area occupied by State-listed species
5. Detailed maps of the area surveyed including the survey route and locations of State listed species
6. Statement/résumé indicating the biologist's qualifications

The site surveys report should be sent to the CT DEEP-NDDDB Program (deep.nddbrequest@ct.gov) for further review by program biologists.

Natural Diversity Database information includes all information regarding listed species available to us at the time of the request. This information is a compilation of data collected over the years by the Department of Energy and Environmental Protection's Natural History Survey and cooperating units

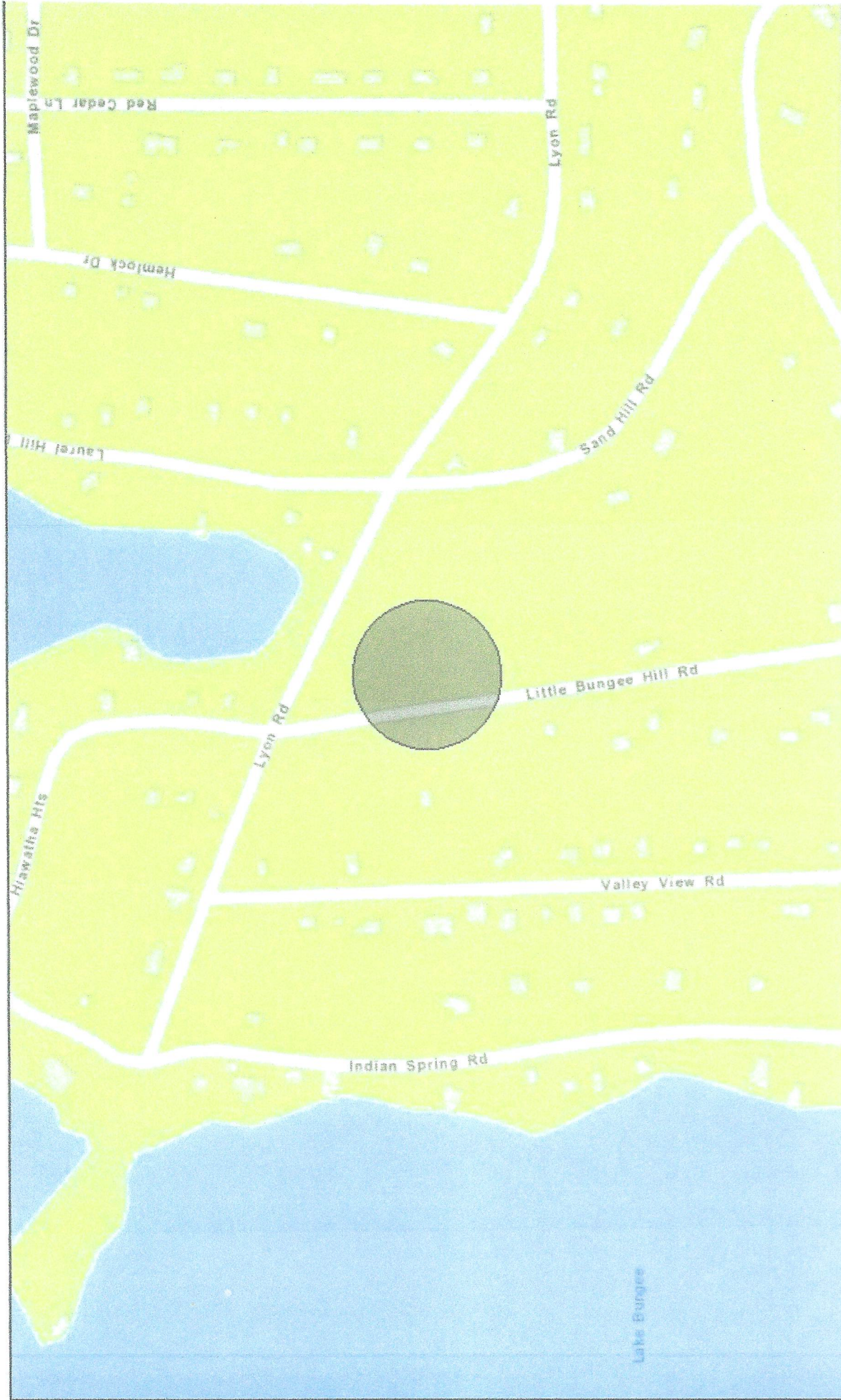
of DEEP, land owners, private conservation groups and the scientific community. This information is not necessarily the result of comprehensive or site-specific field investigations. Current research projects and new contributors continue to identify additional populations of species and locations of habitats of concern, as well as, enhance existing data. Such new information is incorporated into the Database and accessed through the ezFile portal as it becomes available.

This letter is computer generated from our existing records and carries no signature. If however, any clarification/error is noted, or, if you have further questions, please contact the following:

CT DEEP Bureau of Natural Resources
Wildlife Division
Natural Diversity Database
79 Elm Street
Hartford, CT 06106-5127
(860) 424-3011
deep.nddbrequest@ct.gov

Please include a snapshot of the map, your last name, and the subject area town when you e-mail or write. Thank you for consulting the Natural Diversity Data Base.

24 Little Bungee Hill Rd Map



January 29, 2024

**TOWN OF WOODSTOCK
INLAND WETLANDS AND WATERCOURSES AGENCY**

APPLICATION FOR PERMISSION TO CONDUCT A REGULATED ACTIVITY WITHIN AN INLAND WETLAND OR WATER COURSE AREA IN THE TOWN OF WOODSTOCK, CONNECTICUT.

(In accordance with the Woodstock Inland Wetlands and Watercourses Regulations, and the regulations of the Connecticut Department of Environmental Protection)

INSTRUCTIONS: All applicants must complete Section I of this application form for preliminary review. The Agency will then notify the applicant of any additional information that may be required and will schedule a public hearing, if necessary. In addition to the information supplied in Section I, the applicant should submit other supporting facts or documents which may assist the Agency in its evaluation of this proposal.

NO PERMIT SHALL BE TRANSFERRED WITHOUT PERMISSION OF AGENCY.

SECTION I

(if not applicant)

1. Name of Applicant Stephen C. Kurcxy Name of Property Owner _____
 Address 23 Little Bungee Hill Rd. Address _____
Woodstock Valley, CT 06292
 Telephone # (860) 356-3887 Telephone # _____

2. Attach a written consent to the proposed activity by the owner, if applicant is not the property owner.

3. Street Location of the Property: 0.76 Acre vacant property across from 23 LBHR
 Specific directions: CT Route 171 (Somers Tpk.) to Lyon Road, left on Little Bungee Hill Road, property is on left.

Utility Pole Number if present: Property is located between CL&P#1502 and CL&P#1503

(Use an additional sheet, if necessary, to draw a sketch showing the property in relation to surrounding roads.)

4. Purpose and Description of Activity for which Authorization is Requested

a. Proposed activity will involve the following: (Check appropriate activity):

Alteration _____ Construction Deposition or _____ Removal of material _____ Waste Disposal _____

b. Attach a general description of the proposal and identification of each regulated activity for which permit is sought. Include nature, area and a volume of material to be placed, removed or transferred. Linear measurements of affected watercourses or wetlands must also be given.

c. A detailed site plan of the proposal must be included. Detailed Site Plan is submitted herewith.

d. Purpose of the proposed activity (i.e., a new dwelling, addition to existing dwelling, new business, driveway, etc.):
New 3 bedroom single-family residence w/ on-site well, on-site SSDS, driveway, utilities, grading and E&S controls.

5. Attach a copy of soils map section and copy of U.S. Geological survey map section which contains the proposed activity if any watercourses are altered in any way. CT Web Soil Survey Report is submitted herewith.

6. Names and Addresses of Adjacent Property Owners (attach separate sheet).

See attached list.

The undersigned applicant hereby consents to necessary and proper inspections of the above-mentioned property by Agents of the Inland Wetlands and Watercourses Agency, at reasonable times, both before and after the permit in question has been granted by the Agency. In evaluating this application, the Agency has relied on information provided by the applicant and, if such information subsequently proves to be false, deceptive, incomplete and/or inaccurate, this permit may be modified, suspended or revoked.

The undersigned swears that the information supplied in the complete application is accurate to the best of his/her knowledge and belief.

Devin A. Mentino, Agent 1/26/2021
 Signature of Applicant Boundaries, LLC Date

SECTION II

TO BE FILLED IN BY AGENCY

Date Filed 02-01-2021 Application # 01-21-07 Fee: \$95

Approved with the following conditions: All erosion controls required are to be inspected and approved by the Enforcement Officer prior to the start of the approved activity. Failure to arrange for the inspection and secure approval may VOID the permit.

This approval covers only specific activities described in this application.

By: J. Metzger Wetlands Date Approved 02-10-2021 Expires: 02-10-2026
Chairperson Agent

Erosion controls inspected on _____ Date _____ by _____

**INLAND WETLANDS & WATERCOURSES AGENCY
REGULAR MEETING
Monday, February 1, 2021 – 7:00 pm**

In accordance with Governor Lamont’s Executive Order and social distancing guidelines recommended by the CDC, members of the IWWA participated in the meeting via ZOOM online.

MINUTES

- I. **Call to Order:** Chairman Mark Parker called the meeting to order at 7:32 pm.

Chairman Parker shared the protocol on conducting meetings via Zoom online.

- II. **Roll Call:**

Members Present: Mark Parker, William Rewinski, Marla Butts, First Selectman Jay Swan (ex-officio)

Members Absent: Victor Peabody

Quorum: Yes

Others Present: Tina Lajoie, Greg Favreau, Members of the Public

Chairman Parker asked that follow-up occur with Victor Peabody to determine whether he plans to continue as a member of the IWWA. Wetlands Agent Tina Lajoie stated she would continue to follow-up, and First Selectman Jay Swan offered to contact him.

- III. **Appointment of Alternates (if necessary):** None.

- IV. **Action on minutes of previous meeting of January 11, 2021:**

Two changes were noted to the minutes, which included correcting Mr. Peabody’s first name under Members Absent, and under New Business V(a) first para: replacing “50x75” with “50x75 feet.”

Motion was made by Marla Butts, and **Seconded** by William Rewinski, to **Approve** the minutes of the January 11, 2021 IWWA meeting as amended. **The motion passed unanimously.**

- V. **New Business:**

- a. 01-21-07 – Stephen C. Kurczy – Route 171 – new single-family home with well and driveway

The Lot number was added to this application as Lot OE73. Tina Lajoie stated that the applicant or applicant’s representative had planned to be on the zoom meeting. She has not been able to visit the site due to illness. She should be able to do this over the next week or two.

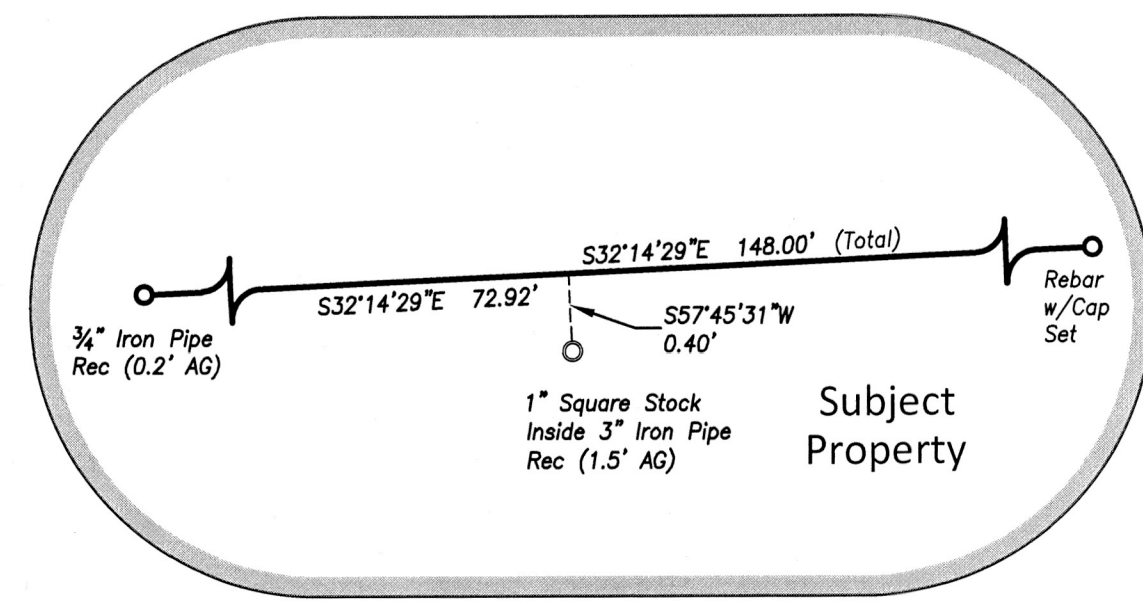
Marla Butts noted that since this is not in the upland review area, the ZEO can approve as appropriate. There were no issues noted by IWWA members.

A vote was not required.

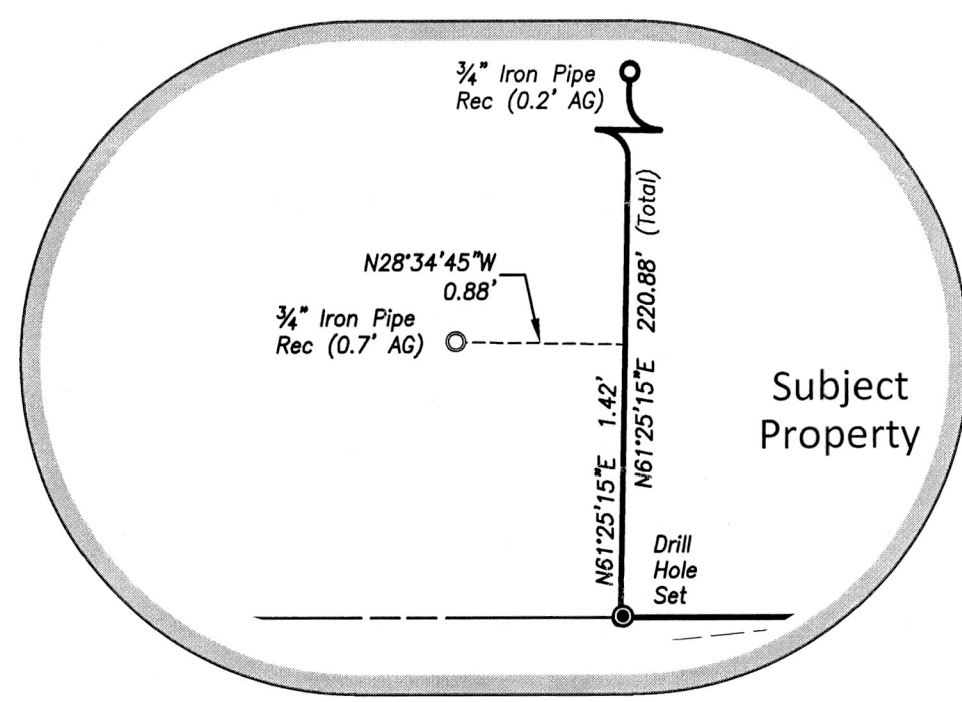
- VI. **Old Business:**

- a. 11-20-36 – Town of Woodstock – Peake Brook Road – bridge replacement

This agenda item was tabled to the next meeting.



Detail "A"
NOT TO SCALE



Detail "B"
NOT TO SCALE

DEEP TEST PIT RESULTS

DEEP TEST PITS WERE WITNESSED BY STEVE KNAUF, R.S. OF THE NORTHEAST DISTRICT DEPARTMENT OF HEALTH AND DEMIAN A. SORRENTINO, CSS OF BOUNDARIES LLC ON 12/4/2020.

- TP#1**
 0 - 6" TOPSOIL
 6 - 31" BROWN SANDY LOAM
 31 - 80" MODERATELY COMPACT GRAY/BROWN SANDY HARDPAN
 MOTTLING @ 31"
 GROUNDWATER SEEP @ 68"
 NO LEDGE
- TP#2**
 0 - 5" TOPSOIL
 5 - 27" BROWN SANDY LOAM
 27 - 75" MODERATELY COMPACT GRAY/BROWN SANDY HARDPAN
 MOTTLING @ 27"
 GROUNDWATER SEEP @ 66"
 NO LEDGE
- TP#3**
 0 - 5" TOPSOIL
 5 - 30" BROWN SANDY LOAM
 30 - 64" MODERATELY COMPACT GRAY/BROWN SANDY HARDPAN
 MOTTLING @ 30"
 NO LEDGE

PERCOLATION TEST RESULTS

PERCOLATION TESTS WERE PERFORMED BY DEMIAN A. SORRENTINO, CSS OF BOUNDARIES, LLC ON 12/4/2020.

PERC-1

DEPTH OF PERC = 33"
 TOP OF PERC 8" INTO GRADE
 PRESOAK: 1 HOUR

TIME	READING
10:15	3-1/2"
10:20	6-1/4"
10:25	8-1/2"
10:30	10-1/2"
10:35	12"
10:40	13"
10:45	14"
10:50	15"
10:55	15-3/4"
11:00	16-1/2"
11:05	17-1/4"
11:10	18"

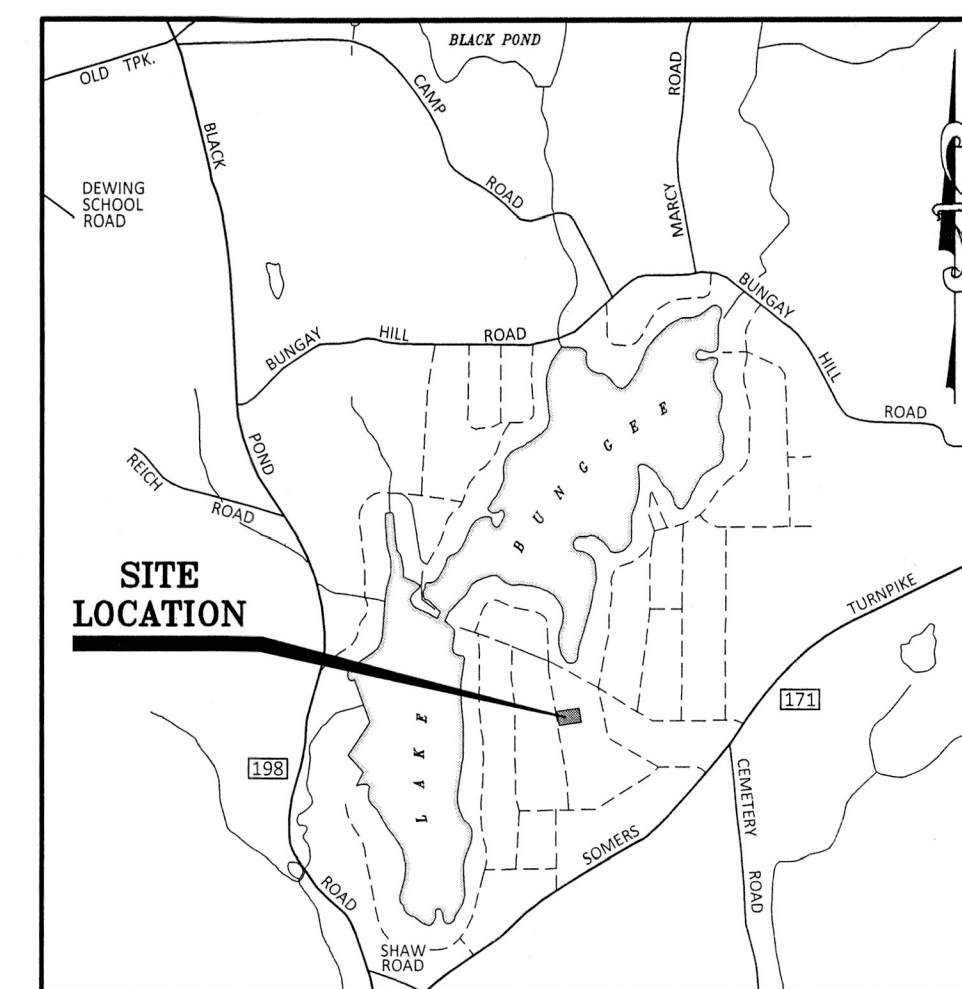
PERCOLATION RATE AT 33"
 DEPTH = 6.7 MINUTES/INCH

SANITARY DESIGN CRITERIA & MLSS CALCULATIONS

PROPOSED 2-BEDROOM HOUSE
 DESIGN PERCOLATION RATE = LESS THAN 10.1 MINUTES/INCH
 LEACHING AREA REQUIRED = 375 SF EFFECTIVE
 DESIGN: 1,000 GALLON (MIN) SEPTIC TANK AND 1 ROW OF 30' OF ELJIN MANTIS DOUBLE-WIDE 100 LEACHING MEDIA INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
 LEACHING AREA PROVIDED = 600 SF EFFECTIVE (30 LF X 20.0 SF/LF)
 100% RESERVE AREA PROVIDED (1 ROW OF 30' OF ELJIN MANTIS DOUBLE-WIDE 100 LEACHING MEDIA INSTALLED PER MANUFACTURER'S SPECIFICATIONS)

MINIMUM LEACHING SYSTEM SPREAD (MLSS) CALCULATION

HYDRAULIC GRADIENT	= 10.0%
DEPTH TO RESTRICTIVE LAYER	= 27"
HYDRAULIC FACTOR	= 26
FLOW FACTOR FOR 2 BEDROOMS	= 1.0
PERCOLATION FACTOR FOR UP TO 10.0 MIN/INCH	= 1.0
MLSS REQUIRED	= 26'
MLSS PROVIDED	= 30'



LOCATION MAP
SCALE: 1"=2000'

ZONING TABLE: LAKE DISTRICT

ITEM	REQUIRED	PROVIDED
MINIMUM LOT AREA	2.5 Ac.	0.76 Ac.*
FRONTAGE ON PRIVATE ROAD	25 FT	147.50 FT
MINIMUM FRONT YARD SETBACK	20 FT**	25 FT
MINIMUM SIDE YARD SETBACK	10 FT***	12.8 FT (R)
MINIMUM REAR YARD SETBACK	20 FT	145.7 FT
MAXIMUM BUILDING HEIGHT	35 FT	<35 FT
WATER SUPPLY	PRIVATE WELL	
SANITARY	SSDS	

- * PRE-EXISTING NON-CONFORMITY
- ** BUNGEE ASSOCIATION FRONT SETBACK IS 25' (REQUIREMENT IS MET)
- *** BUNGEE ASSOCIATION SIDE SETBACK IS 8' (REQUIREMENT IS MET)

SURVEY NOTES

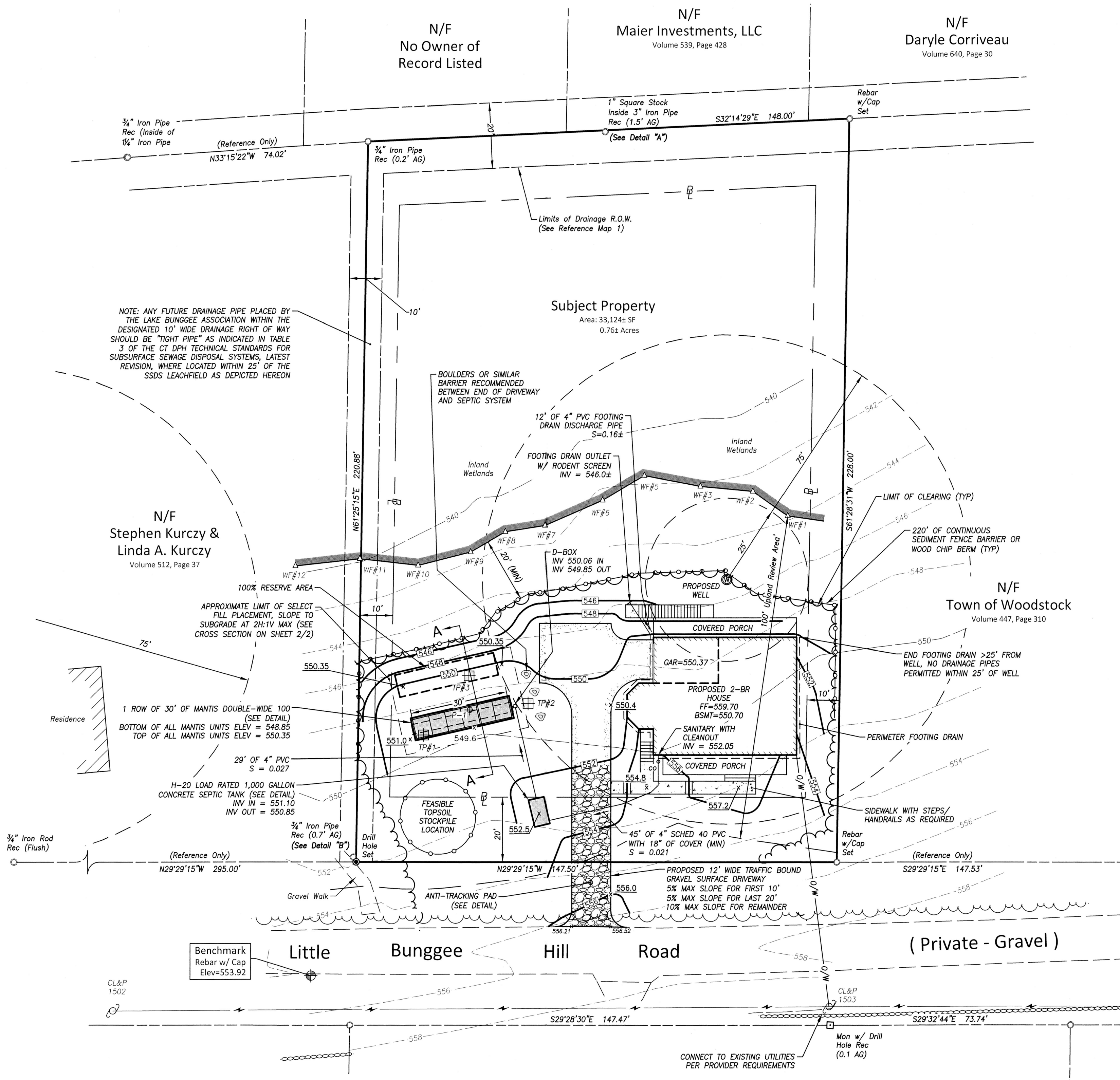
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS AND SUGGESTED METHODS AND PROCEDURES FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED FOR USE BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 29, 2019. IT IS AN IMPROVEMENT LOCATION & TOPOGRAPHIC SURVEY BASED ON RESURVEY AND CONFORMS TO HORIZONTAL CLASS "A-2" AND TOPOGRAPHIC CLASS "T-2" ACCURACY STANDARDS. IT IS INTENDED TO BE USED FOR MUNICIPAL PERMITTING AND SITE DEVELOPMENT PURPOSES.
- NORTH ORIENTATION DEPICTED HEREON IS BASED UPON REFERENCE MAP #1.
- VERTICAL DATUM DEPICTED HERE ON IS APPROXIMATE NORTH AMERICAN VERTICAL DATUM 1988 (NAV88) BASED GLOBAL POSITIONING SYSTEM OBSERVATIONS USING GEODETIC 12B ON OCTOBER 7, 2020.
- THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON THE LOCATION OF ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED BY OTHERS. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES. ALL SUBTERRANEAN FEATURES AND IMPROVEMENTS MAY NOT BE DEPICTED OR NOTED HEREON. THE LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. CONTACT "CALL BEFORE YOU DIG" AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION OPERATIONS.
- THE FIELD SURVEY WAS COMPLETED ON OCTOBER 7, 2020. LAND RECORD AND RELATED RESEARCH WAS COMPLETED ON OCTOBER 20, 2020 AND UPDATED ON NOVEMBER 27, 2023.
- RECORD TITLE TO THE SUBJECT PROPERTY MAY BE REFERENCED TO A WARRANTY DEED FROM STEPHEN C. KURCZY TO DORATHY WHITEHEAD, RECORDED JANUARY 27, 2022 IN VOLUME 698, PAGE 102 OF THE TOWN OF WOODSTOCK LAND RECORDS.
- THE SUBJECT PARCEL IS SUBJECT TO AN EASEMENT IN FAVOR OF THE CONNECTICUT LIGHT AND POWER COMPANY RECORDED IN VOLUME 56, PAGE 243 OF THE TOWN OF WOODSTOCK LAND RECORDS.
- THE SUBJECT PARCEL IS SUBJECT TO A DECLARATION OF RESTRICTIONS AND COVENANTS (LAKE BUNGEE, INCORPORATED) RECORDED IN VOLUME 55, PAGE 571 OF THE TOWN OF WOODSTOCK LAND RECORDS.
- THE SUBJECT PROPERTY IS IDENTIFIED BY THE TOWN OF WOODSTOCK TAX ASSESSOR AS ID# 5787/34/0E73.

REFERENCE MAP

- LAKE BUNGEE DEVELOPMENT SECTION 'E', WOODSTOCK, CONNECTICUT, SCALE: 1"=100', DATED: MAY 1960, PREPARED BY: IGOR VECHELOFF PROFESSIONAL ENGINEER AND LAND SURVEYOR.
- IMPROVEMENT LOCATION & TOPOGRAPHIC SURVEY, "SUBSURFACE SEWAGE DISPOSAL SYSTEM (SSDS) DESIGN PLAN," PREPARED FOR STEPHEN C. KURCZY, LITTLE BUNGEE HILL ROAD - WOODSTOCK, CONNECTICUT, DATE: DECEMBER 2020, REVISION B, PREPARED BY BOUNDARIES, LLC.

LEGEND & ABBREVIATIONS

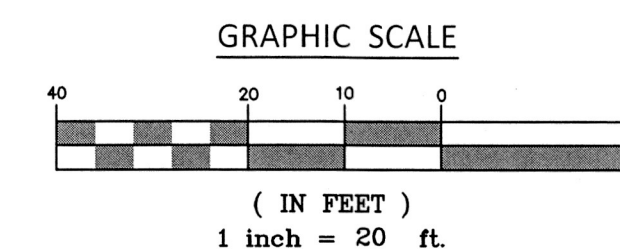
- UTILITY POLE
- GUY WIRE
- CONNECTICUT LIGHT AND POWER COMPANY
- MORE OR LESS
- NOW OR FORMERLY
- BEDROOM
- FINISHED FLOOR
- BASEMENT
- GARAGE
- CLEANOUT
- MAILBOX
- TYPICAL
- REBAR, IRON PIN, IRON PIPE OR COPPER PIN
- ANGLE POINT
- MONUMENT
- RECOVERED
- ABOVE GROUND
- WITH
- STONE WALL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- WELL
- PROPOSED SPOT GRADE
- EXISTING SPOT GRADE
- SLOPE
- SANITARY
- INVERT
- ELEVATION
- FLOW LINE
- POLYVINYL CHLORIDE
- SCHEDULE
- MINIMUM
- EXISTING OVERHEAD UTILITIES
- PROPOSED OVERHEAD UTILITIES
- DEEP TEST PIT
- PERCOLATION TEST



NOTE: ANY FUTURE DRAINAGE PIPE PLACED BY THE LAKE BUNGEE ASSOCIATION WITHIN THE DESIGNATED 10' WIDE DRAINAGE RIGHT OF WAY SHOULD BE "TIGHT PIPE" AS INDICATED IN TABLE 3 OF THE CTDPH TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS, LATEST REVISION, WHERE LOCATED WITHIN 25' OF THE SSDS LEACHFIELD AS DEPICTED HEREON

I HAVE CONDUCTED AN ON-SITE SOIL INVESTIGATION OF THE PARCEL OF LAND DEPICTED HEREON. THE INLAND WETLAND BOUNDARIES AS PORTRAYED ARE AN ACCURATE REPRESENTATION OF THE DELINEATION PERFORMED IN THE FIELD.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.



DRAFT
12-1-23

Improve Location & Topographic Survey
 "Subsurface Sewage Disposal System (SSDS) Design Plan"
 Prepared for
 Dorathy Whitehead
 24 Little Bungee Hill Road - Woodstock, Connecticut

SCALE:	1" = 20'
DATE:	December 2023
JOB I.D. NO.:	23-3384
Revisions	
SHEET NO.	1
	2



\\192.168.2.3\PROJECTS\CIVIL_3D\PROJECTS\2023\23-3384 RTA BUILDERS 24 LITTLE BUNGEE HILL SITE PLAN.DWG

11/02/16.8.2.3 PROJECTS CIVIL 3D PROJECTS 2023.12.3-384 RFA BUILDERS 24 LITTLE BUNGEE HILL SITE PLAN.DWG

SANITARY NOTES

- THIS SEPTIC SYSTEM INSTALLATION INCLUDING ALL MATERIALS (PIPING, SEPTIC TANK, STONE, FILL, ETC.) USED FOR THIS SEPTIC SYSTEM SHALL CONFORM TO THE CURRENT EDITION/REVISION OF THE TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS REVISED JANUARY 2023 OF THE CONNECTICUT PUBLIC HEALTH CODE BY THE STATE OF CONNECTICUT DEPARTMENT OF PUBLIC HEALTH.
- THE PROPOSED BUILDING SEWER FROM THE BUILDING TO THE SEPTIC TANK SHALL BE SCHEDULE 40 PVC ASTM D 1785/ASTM D 2865 OR APPROVED EQUAL AND INDICATED IN TABLE NO. 2 OF TECHNICAL STANDARDS FOR SUBSURFACE SEWAGE DISPOSAL SYSTEMS. ALL OTHER GRAVITY SEWER PIPE FOR THIS SEPTIC SYSTEM SHALL BE 4" PVC ASTM D3034, SDR 35 WITH RUBBER COMPRESSION GASKET OR BELL AND SPIGOT OR APPROVED EQUAL. THERE ARE NO WELLS (POWELL, GEOTHERMAL, OR IRRIGATION) WITHIN 75' OF THE PROPOSED SEPTIC SYSTEM. THERE ARE NO SEPTIC SYSTEMS WITHIN 75' OF THE PROPOSED WELL. THERE SHALL BE NO STUMPS BURIED ON-SITE OR BOULDERS BURIED WITHIN 50' DOWN GRADIENT OF THE SEPTIC SYSTEM. SHOULD ANY SIGNIFICANT VARIATIONS FROM THE TEST HOLE DATA BE ENCOUNTERED DURING EXCAVATIONS (LEDGE, GROUNDWATER, MOTTLING, SOIL TYPE, ETC.), THE DESIGN ENGINEER SHALL BE NOTIFIED PRIOR TO INSTALLATION OF THE SEPTIC SYSTEM.
- ALL EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS AND ELEVATIONS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL CONTACT "CALL-BEFORE-YOU-DIG" AT 1-800-922-4455 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- THE PROPOSED SELECT FILL FOR THIS SEPTIC SYSTEM SHALL MEET THE FOLLOWING SPECIFICATIONS:

SIEVE SIZE	% PASSING (WET)	% PASSING (DRY)
#4	100%	100%
#10	70 - 100%	70 - 100%
#40	10 - 50%	10 - 75%
#100	0 - 20%	0 - 5%
#200	0 - 5%	0 - 2.5%
- A PERCENT PASSING THE #40 WET SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.
- PERCOLATION RATE AFTER PLACEMENT AND COMPACTION SHALL BE FASTER THAN OR EQUAL TO 10.0 MINUTES/INCH.
- A WET OR DRY SIEVE ANALYSIS MAY BE REQUIRED PRIOR TO FILL PLACEMENT TO VERIFY THAT IT MEETS THESE SPECIFICATIONS. THE FILL SHALL BE APPROVED BY THE LOCAL HEALTH DEPARTMENT/DISTRICT OR DESIGN ENGINEER PRIOR TO ITS PLACEMENT ON SITE.
- ELJEN MANTIS SPECIFIED SAND SHALL CONFORM TO ASTM C33 SAND WITH LESS THAN 10% PASSING THE #100 SIEVE AND LESS THAN 5% PASSING THE #200 SIEVE BASED ON A WET SIEVE ANALYSIS.
- NO DEVIATION FROM THE APPROVED DESIGN PLAN SHALL BE ALLOWED WITHOUT PRIOR WRITTEN APPROVAL FROM THE LOCAL HEALTH DEPARTMENT/DISTRICT AND THE DESIGN ENGINEER.
- THE SEPTIC TANK SHALL BE PRECAST CONCRETE UNLESS OTHERWISE AUTHORIZED BY THE DESIGN ENGINEER. THE SEPTIC TANK SHALL BE WATER TIGHT AS VERIFIED BY THE LOCAL HEALTH DEPARTMENT/DISTRICT (VACUUM TEST OR WATER PRESSURE TEST) IN ACCORDANCE WITH SECTION V.A.6. OF THE TECHNICAL STANDARDS. IF RISER ASSEMBLIES ARE UTILIZED OVER CLEANOUT OPENINGS, THE COVERS SHALL BE LEFT ON THE TANK. RISER COVERS SHALL WEIGH AT LEAST 59 POUNDS AND A SECONDARY SAFETY LID OR DEVICE SHALL BE PROVIDED INSIDE THE RISER.
- THIS SEPTIC SYSTEM HAS NOT BEEN SIZED TO INCLUDE CAPACITY FOR A GARBAGE GRINDER OR LARGE TUB. A GARBAGE GRINDER OR LARGE TUB SHALL NOT BE USED IN THE RESIDENCE WITHOUT INCREASING THE SIZE OF THE SEPTIC TANK. IF A GARBAGE GRINDER OR LARGE TUB IS DESIRED THEN THE SEPTIC TANK SIZE SHALL BE INCREASED IN ACCORDANCE WITH SECTION V.B.4 OF THE TECHNICAL STANDARDS. WATER TREATMENT WASTEWATER (WATER SOFTENER) SHALL NOT BE DISCHARGED TO THIS SEPTIC SYSTEM.
- SITE PREPARATION PROCEDURE FOR THE INSTALLATION OF THE PROPOSED SEPTIC SYSTEM:
 - SYSTEM SHALL BE FIELD STAKED BY A LICENSED LAND SURVEYOR.
 - PREPARE SITE AND REMOVE ANY TREES WITH A DRIP LINE WITHIN 10 FEET OF THE LEACHING SYSTEM.
 - STRIP ALL TOPSOIL, VEGETATION, ORGANIC MATERIAL, AND PREVIOUSLY PLACED FILL MATERIAL IN THE AREA OF AND 5' DOWNGRADIENT AND 2' TO THE SIDES AND UPGRADIENT OF THE PRIMARY LEACHING TRENCH, EXTENDING TO THE LIMITS OF REQUIRED FILL PLACEMENT AS SHOWN ON CROSS SECTION A-A.
 - USING A HEAVY BAKE OR EQUAL, THOROUGHLY SOBBY AND ROUGHEN UP THE EXPOSED SUBSOIL. PREVENT ANY VEHICULAR TRAFFIC, BACKHOE, TRUCKS, ETC. FROM SMOOTHING/COMPACTING THIS EXPOSED SUBSOIL.
 - PLACE AND COMPACT SELECT FILL MATERIAL MEETING SPECIFICATIONS INDICATED ABOVE (NOTE #5) IN LIFTS OF NOT GREATER THAN 12-INCHES IN THE AREA OF THE PROPOSED LEACHING TRENCHES UP TO AT LEAST THE ELEVATION OF THE TOP OF THE MANTIS MODULES (SEE DETAIL).
 - PERFORM AT LEAST 1 PERCOLATION TEST ON PLACED FILL. FILL MUST HAVE A PERCOLATION RATE EQUAL TO OR FASTER THAN THAT AS INDICATED IN NOTE #5.E. IF PERCOLATION RATE IS SLOWER THAN THAT RATE, ALL FILL SHALL BE REMOVED AND REPLACED WITH ACCEPTABLE FILL MEETING PROPER SPECIFICATIONS.
 - INSTALL SEPTIC SYSTEM PER MANUFACTURER'S SPECIFICATIONS (SEE WWW.ELEVEN.COM OR CONTACT 1-800-444-1359) AS SHOWN ON THIS PLAN USING APPROVED MATERIALS (SAND, PIPE, ETC.). NOTE: THE MANTIS UNITS ARE NOT APPROVED FOR AND SHALL NOT BE INSTALLED UNDER TRAVELLED/PARKING AREAS.
 - AFTER SETTLING, THE COVER OVER THE SYSTEM SHALL BE A MINIMUM OF 6" AND A MAXIMUM OF 18" OF MATERIAL MEASURED FROM THE TOP OF THE MANTIS UNITS TO THE FINISHED GRADE IN LAWN AREAS. GRADE TO PREVENT PONDING AND SEED WITH GRASS TO STABILIZE. THE FINISHED GRADE 10' FROM ANY PART OF THE PROPOSED MANTIS UNITS SHALL BE AT LEAST THE SAME ELEVATION AS THE TOP OF THE MANTIS UNITS. DO NOT DRIVE OR PAVE OVER SYSTEM.
 - CLEANOUT MANHOLES AT THE INLET BAFFLE AND AT THE OUTLET FILTER OF THE SEPTIC TANK OR ASSOCIATED RISERS AT THESE LOCATIONS IF REQUIRED SHALL BE LOCATED AT A DEPTH NOT GREATER THAN 12" BELOW FINAL GRADE.
 - FOR EXACT HOUSE DIMENSIONS, SEE BUILDING PLANS PREPARED BY OTHERS.
 - BENCHMARK SHALL BE LOCATED IN THE AREA OF DEVELOPMENT PRIOR TO THE START OF CONSTRUCTION.
 - PRIOR TO CONSTRUCTION, THE HOUSE, WELL, AND SEPTIC SYSTEM SHALL BE STAKED OUT BY A LICENSED LAND SURVEYOR.

CONSTRUCTION SEQUENCE

- SECURE ALL NECESSARY LOCAL, STATE AND FEDERAL PERMITS.
- ROUGH GRADE ENTRANCE AND INSTALL ANTI-TRACKING PAD. INSTALL SEDIMENT FENCE IN SPECIFIED LOCATION AS SHOWN DOWNGRADIENT OF PROPOSED DEVELOPMENT AREAS.
- CLEAR AND GRUB DEVELOPMENT AREA AND DISPOSE OF VEGETATION OFF-SITE AT AN APPROVED LOCATION.
- STRIP TOPSOIL FROM DEVELOPMENT AREA AND STOCKPILE AT AN APPROVED LOCATION FOR LATER REUSE. SURROUND STOCKPILE WITH SEDIMENT FENCE INSTALLED PER DETAIL AND SEED TOPSOIL STOCKPILE WITH RYEGRASS FOR TEMPORARY STABILIZATION.
- ROUGH GRADE SITE, INSTALL WATER SUPPLY WELL, CONSTRUCT DRIVEWAY.
- CONSTRUCT HOUSE, INSTALL SUBSURFACE SEWAGE DISPOSAL SYSTEM, CONNECT UTILITIES AND PERFORM FINAL SITE GRADING.
- AT COMPLETION OF CONSTRUCTION, LOAM ALL DISTURBED AREAS (4" MINIMUM). SEED WITH GRASS AND MULCH. AFTER ALL AREAS HAVE BEEN PERMANENTLY STABILIZED, REMOVE EROSION CONTROL MEASURES.

NARRATIVE

THIS PROJECT INVOLVES THE RESIDENTIAL DEVELOPMENT OF A 0.76+ ACRE PROPERTY IDENTIFIED AS 24 LITTLE BUNGEE HILL ROAD IN THE TOWN OF WOODSTOCK, CONNECTICUT. THE PARCEL IS CURRENTLY UNDEVELOPED AND IS THE RESULT OF A 1980 DEVELOPMENT PLAN. THE CURRENT ZONING DESIGNATION OF THE SUBJECT PROPERTY IS LAKE DISTRICT. THIS PLAN PROPOSES THE CONSTRUCTION OF A NEW 2-BEDROOM SINGLE FAMILY RESIDENCE AND ALL ASSOCIATED IMPROVEMENTS INCLUDING A NEW SUBSURFACE SEWAGE DISPOSAL SYSTEM, WELL, DRIVEWAY, GRADING, AND REQUIRED CLEARING. THERE ARE INLAND WETLANDS LOCATED UPON THE SUBJECT PARCEL. INLAND WETLANDS ON THE SUBJECT PROPERTY WERE DELINEATED BY DENHAM A. SORRENTINO, C.S.S. ON SEPTEMBER 11, 2020. SEDIMENT FENCE BARRIER OR WOOD CHIP BERMS SHALL BE USED DOWN-GRADIENT OF ALL WORK.

SOIL TYPES PRESENT ON THE SUBJECT PROPERTY ACCORDING TO THE UNITED STATES DEPARTMENT OF AGRICULTURE (USDA), NATURAL RESOURCES CONSERVATION SERVICE (NRCS) WEB SOIL SURVEY FOR THE STATE OF CONNECTICUT, ARE AS FOLLOWS:
 3 RIDGEBURY, LEICESTER, AND WHITMAN SOILS, 0 TO 8% SLOPES, EXTREMELY STONY (CT WETLANDS SOIL)
 520 SUTTON FINE SANDY LOAM, 2 TO 15% SLOPES, EXTREMELY STONY

TOPSOIL WILL BE STOCKPILED ON-SITE FOR REUSE IN CONJUNCTION WITH FINAL GRADING AND STABILIZATION AND FOR STABILIZING AREAS OUTSIDE OF BUILDING, CIRCULATION AND PARKING AREAS. AFTER GRADING IS COMPLETED, A 4" MINIMUM DEPTH OF TOPSOIL WILL BE PLACED AND SEEDED WITH GRASS AND MULCHED FOR PERMANENT STABILIZATION.

SEDIMENT FENCE OR WOOD CHIP BERMS SHALL BE INSTALLED AT LOCATIONS SHOWN PRIOR TO ANY EARTHWORK OPERATIONS. THESE MEASURES SHALL BE MAINTAINED UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. CONSTRUCTION OF THE PROPOSED BUILDINGS IS INTENDED TO COMMENCE IN WINTER 2023 AND BE COMPLETE BY SUMMER 2024 (6+ MONTHS).

EROSION CONTROL NOTES

- ALL UTILITIES ARE APPROXIMATE. CONTRACTOR TO VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION. CONTACT "CALL-BEFORE-YOU-DIG" AT 1-800-922-4455 AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION.
- THE RESPONSIBLE PARTY WITH RESPECT TO THE INSTALLATION AND MAINTENANCE OF ALL EROSION CONTROL MEASURES IS THE SITE CONTRACTOR, WHICH IS TO BE DETERMINED.
- THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" BY THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION IN COOPERATION WITH THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION, CT DEEP BULLETIN 34, SHALL BE USED FOR INSTALLING AND MAINTAINING ALL EROSION CONTROL MEASURES. THE PROPERTY OWNER SHALL INSTALL ADDITIONAL MEASURES AS NECESSARY IF DIRECTED BY THE ENGINEER OR TOWN STAFF.
- SEEDING FOR PERMANENT STABILIZATION SHALL BE COMPLETED BETWEEN APRIL 15 THROUGH JUNE 15 OR BETWEEN AUGUST 15 THROUGH SEPTEMBER 15. IF SEEDING CANNOT BE COMPLETED WITHIN THESE TIMES, APPLICATION OF TEMPORARY MULCH WILL BE CONDUCTED UNTIL THE NEXT SEEDING PERIOD. SEED MIXTURE SHALL BE AS FOLLOWS:

	20 LBS/ACRE	OR	0.45 LBS/1,000 SF
KENTUCKY BLUEGRASS	20 LBS/ACRE	OR	0.45 LBS/1,000 SF
CREeping RED FESCUE	20 LBS/ACRE	OR	0.45 LBS/1,000 SF
PERENNIAL RYEGRASS	5 LBS/ACRE	OR	0.10 LBS/1,000 SF
- MULCH SHALL BE A GOOD QUALITY HAY OR STRAW AND SHALL BE APPLIED AT A RATE OF APPROXIMATELY 2-3 BALES/1,000 SF.
- ALL EROSION CONTROL MEASURES SHALL BE INSPECTED WITHIN 24 HOURS AFTER RAIN EVENTS WITH GREATER THAN 0.5" OF RAINFALL IN A 24-HOUR PERIOD, AND REPAIRED OR REPLACED AS NECESSARY TO INSURE COMPLIANCE WITH THE APPROVED SOIL EROSION AND SEDIMENT CONTROL PLAN.

OPERATION & MAINTENANCE OF EROSION CONTROLS

NO CONSTRUCTION SHALL PROCEED UNTIL PROPER SEDIMENTATION AND EROSION CONTROL METHODS HAVE BEEN INSTALLED AS THE SEQUENCE OF CONSTRUCTION NECESSITATES.

ALL TEMPORARY FILL, STORAGE OR STOCKPILE AREAS SHALL BE PROPERLY STABILIZED TO PREVENT EROSION AND SUITABLY CONTAINED TO PREVENT TURBID RUNOFF. ALL AREAS AFFECTED BY TEMPORARY FILLS MUST BE RESTORED TO THEIR ORIGINAL CONTOURS, AND REVEGETATED WITH SUITABLE VEGETATION. THE USE OF TEMPORARY FILL AND/OR EXCAVATION SHALL BE MINIMIZED TO ONLY THAT AREA REQUIRED TO PERFORM THE WORK.

DUMPING OF OIL OR OTHER DELETERIOUS MATERIALS ON THE GROUND IS FORBIDDEN. THE DEVELOPER OR CONTRACTOR SHALL PROVIDE A MEANS OF CATCHING, RETAINING AND PROPERLY DISPOSING OF DRAINED OIL, REMOVED OIL FILTERS, OR OTHER DELETERIOUS MATERIAL FROM EQUIPMENT USED ON SITE. VEHICLE MAINTENANCE SHALL BE COMPLETED OFF SITE. ALL OIL SPILLS SHALL BE IMMEDIATELY REPORTED TO THE DEPARTMENT OF ENERGY AND ENVIRONMENTAL PROTECTION/HAZARDOUS MATERIALS OFFICE. FAILURE TO DO SO MAY RESULT IN THE IMPOSITION OF FINES UNDER THE APPLICABLE CONNECTICUT GENERAL STATUTES.

EVERY PRECAUTION SHALL BE USED DURING CONSTRUCTION TO PREVENT AND MINIMIZE THE DEGRADATION OF THE EXISTING WATER QUALITY. ALL ACTIVITIES SHALL BE IN CONFORMANCE TO AND CONSISTENT WITH ALL APPLICABLE WATER QUALITY STANDARDS AND MANAGEMENT PRACTICES AS SET FORTH BY LOCAL, STATE AND FEDERAL AGENCIES.

DURING THE PERIOD OF CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR ALL EROSION AND SEDIMENT CONTROL MEASURES. SAID MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINSTORM. ACCUMULATED DEPOSITS OF SEDIMENT AND SILT SHALL BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE EROSION AND SEDIMENT CONTROL BARRIERS, AND UPON ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. SUCH MATERIALS REMOVED SHALL BE SPREAD AND STABILIZED IN NON-WETLAND AREAS WHICH ARE NOT SUBJECT TO EROSION, OR WHICH ARE NOT TO BE PAVED OR BUILT UPON.

WOOD CHIP BERMS, SEDIMENT FENCE AND OTHER EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED, CLEANED AND/OR REPLACED AS NECESSARY THROUGHOUT THE CONSTRUCTION PERIOD IN ORDER TO MAINTAIN COMPLETE AND INTEGRAL EROSION AND SEDIMENT CONTROL PROTECTION. ONCE IN PLACE, ALL EROSION AND SEDIMENT CONTROL FACILITIES AND MEASURES ARE TO REMAIN IN PLACE AND IN PROPER CONDITION AND BE CONTINUOUSLY MAINTAINED UNTIL FINAL GRADING HAS BEEN COMPLETED. ALL DISTURBED AREAS UPGRADIENT OF SAID FACILITIES HAVE BEEN PERMANENTLY STABILIZED, AND ALL NEWLY GRASSED AREAS HAVE HAD AT LEAST TWO MOWINGS. FOLLOWING SUCH PERMANENT STABILIZATION, THE FACILITIES SHALL BE DISMANTLED, REMOVED, AND DISPOSED OF IN AN APPROVED MANNER. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES BEYOND THOSE SHOWN ON THE PLANS OR PRESCRIBED HEREIN SHALL BE PUT IN PLACE, WHENEVER NECESSARY, TO ADDRESS FIELD CONDITIONS AND/OR AS ORDERED BY TOWN STAFF OR THEIR DESIGNATED AGENT.

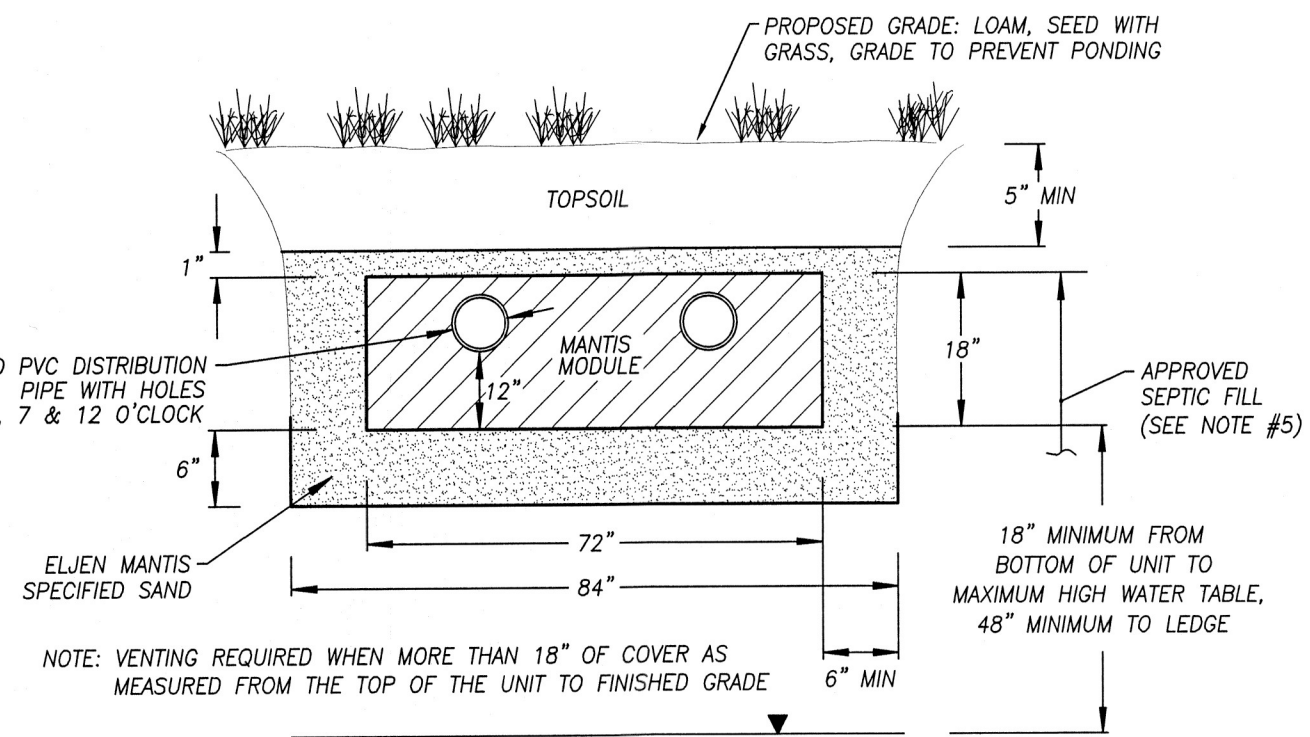
DISTURBANCE OF THE LAND SHALL BE LIMITED TO THE MINIMUM EXTENT NECESSARY TO COMPLETE THE PROPOSED DEVELOPMENT. ALL EXISTING TREES AND SHRUBS SHALL BE CONSERVED WHERE POSSIBLE, EXCEPT THOSE WHOSE REMOVAL IS REQUIRED TO PERFORM THE PROPOSED WORK. THE LIMITS OF DISTURBANCE SHALL BE ESTABLISHED IN THE FIELD PRIOR TO STARTING ANY ACTUAL CONSTRUCTION ACTIVITIES AND SHALL BE GENERALLY AS DEPICTED ON THIS PLAN.

THE CONTRACTOR SHALL INSPECT ALL DISTURBED AREAS OF CONSTRUCTION ACTIVITY THAT HAVE NOT BEEN FINALLY STABILIZED, STRUCTURAL CONTROL MEASURES, AND LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF ALL RAIN EVENTS. WHERE SITES HAVE BEEN TEMPORARILY OR FINALLY STABILIZED, SUCH INSPECTION SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH FOR THREE CONSECUTIVE MONTHS.

DURING CONSTRUCTION AND IMMEDIATELY FOLLOWING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE INSPECTION AND MAINTENANCE TO ASSURE PROPER PERFORMANCE OF THE SEDIMENTATION AND EROSION CONTROL SYSTEM. INSPECTING AND MAINTAINING SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING:

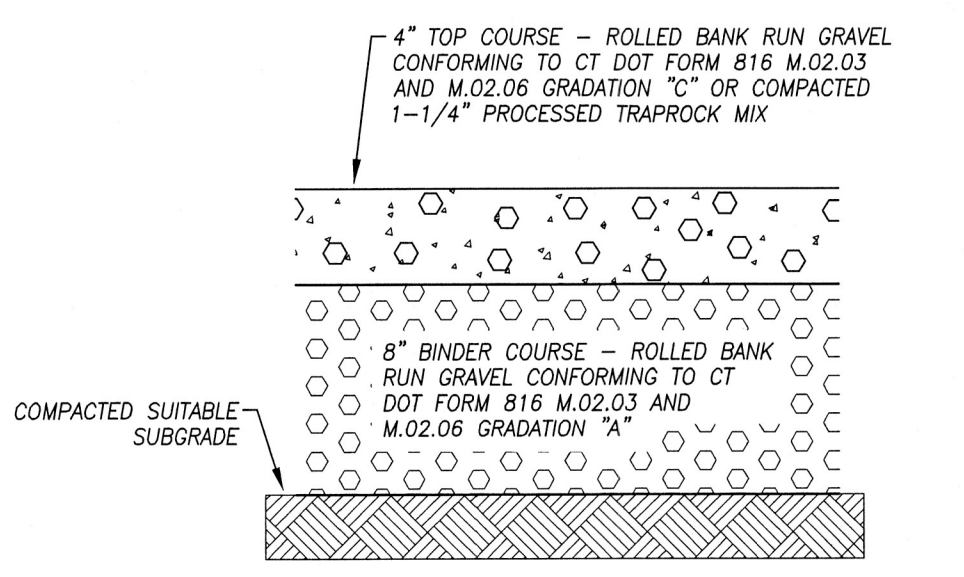
- INSPECTION OF ALL SEDIMENT FENCE, WOOD CHIP BERMS AND STAKED HAY BALES, REMOVE ACCUMULATED SEDIMENT IF REQUIRED (GREATER THAN 4" DEPTH)
- INSPECTION OF ANTI-TRACKING PAD, REMOVE, DISPOSE AND REPLACE IF PAD IS NO LONGER FUNCTIONAL IN THE CATCHMENT OF SEDIMENTS FROM VEHICULAR/TRUCK TRAFFIC.
- INSPECTION OF ALL DRIVEWAY AND PARKING AREAS, REMOVE ACCUMULATED SEDIMENT AND ANY LITTER/DEBRIS.

DISTURBED AREAS AND AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION SHALL BE INSPECTED FOR EVIDENCE OF, OR THE POTENTIAL FOR, POLLUTANTS ENTERING THE DRAINAGE SYSTEM. EROSION AND SEDIMENT CONTROL MEASURES IDENTIFIED IN THE PLAN SHALL BE INSPECTED TO INSURE THAT THEY ARE OPERATING CORRECTLY. DISCHARGE LOCATIONS OR POINTS SHALL BE INSPECTED TO ASCERTAIN WHETHER EROSION CONTROL MEASURES ARE EFFECTIVE IN PREVENTING SIGNIFICANT IMPACTS TO DOWNSTREAM WATERS. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE SEDIMENT TRACKING.



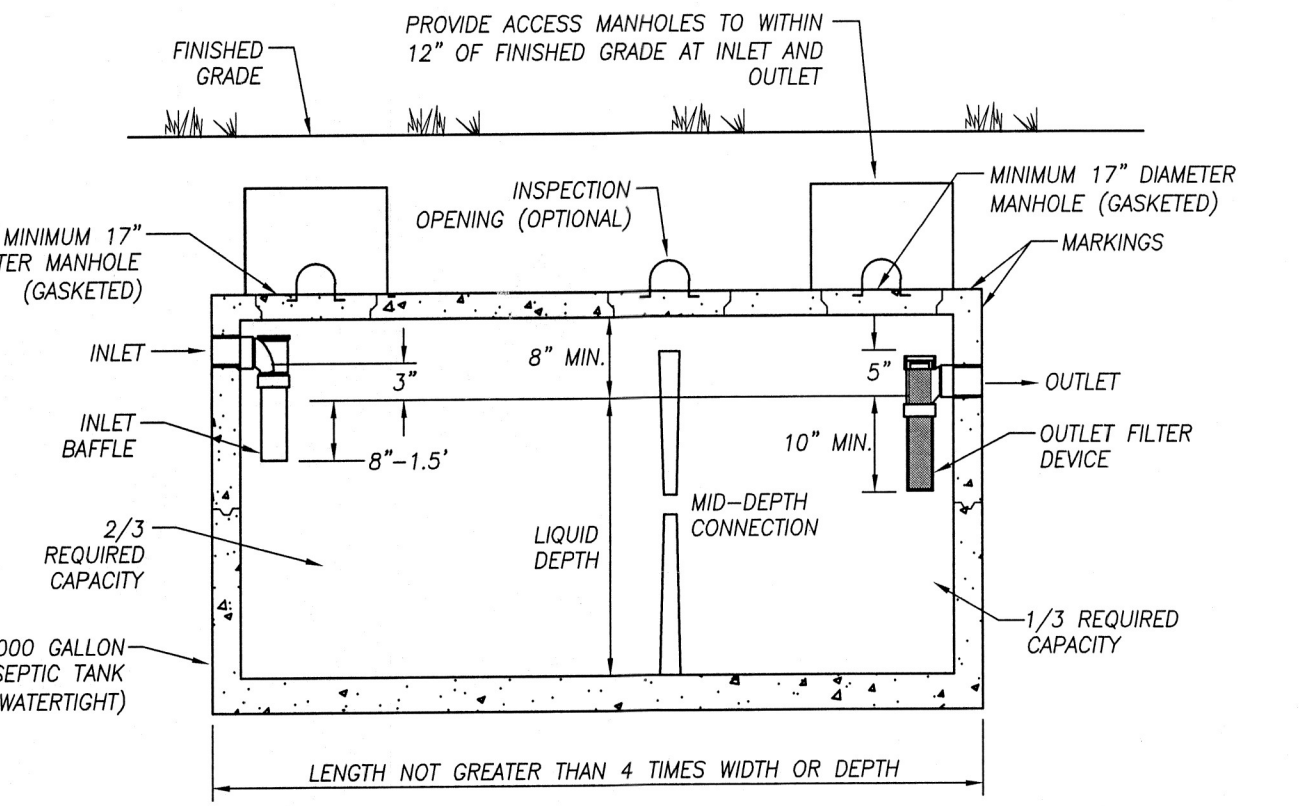
MANTIS DW-100: CROSS SECTION

NOT TO SCALE



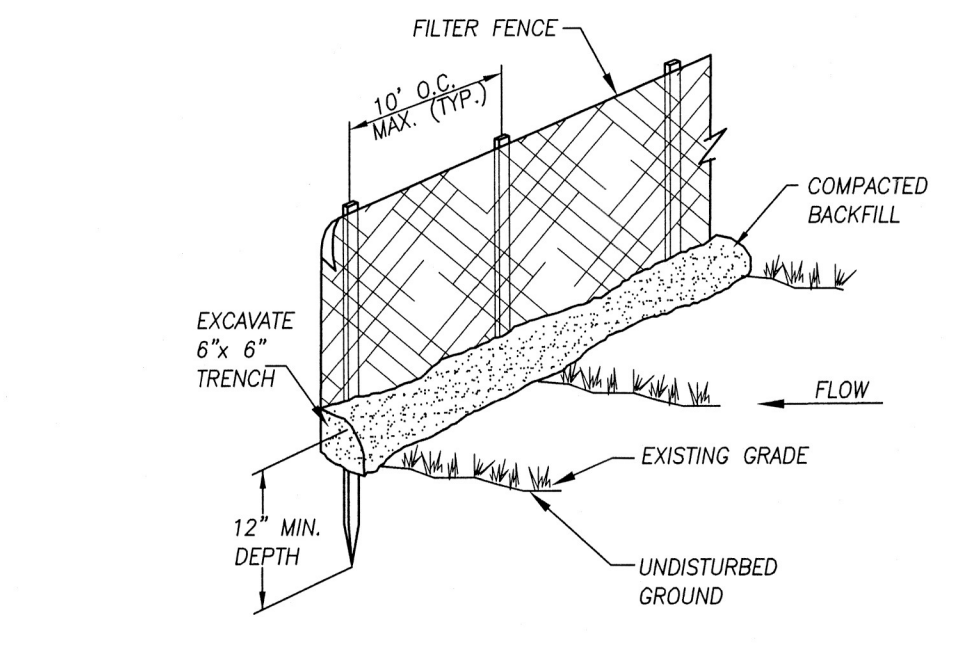
TRAFFIC BOUND GRAVEL SURFACE

NOT TO SCALE



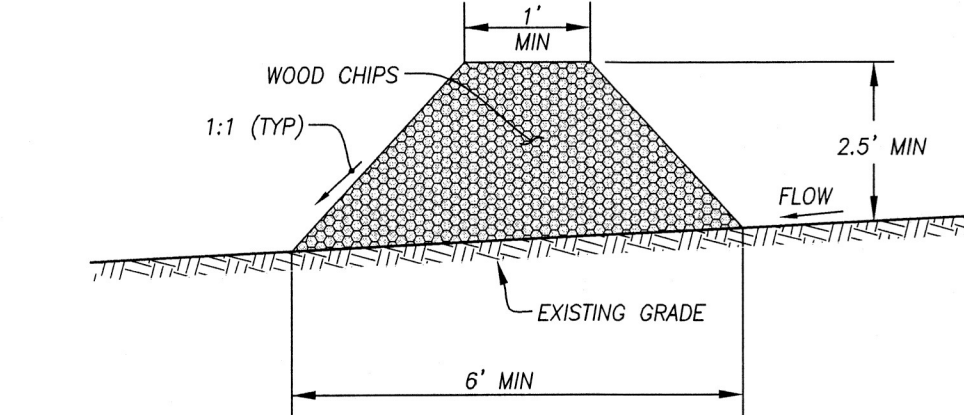
SEPTIC TANK DETAIL

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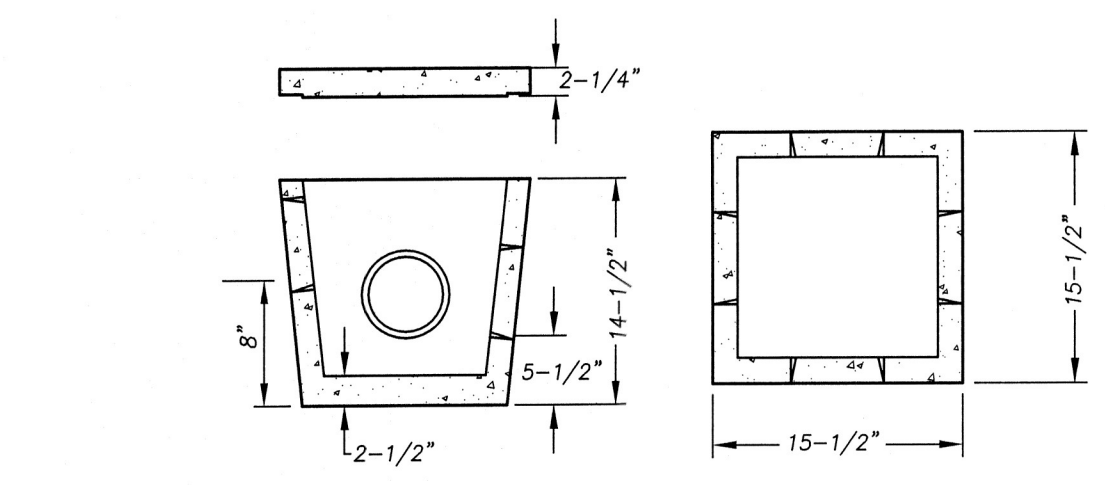
SEDIMENT FENCE DETAIL

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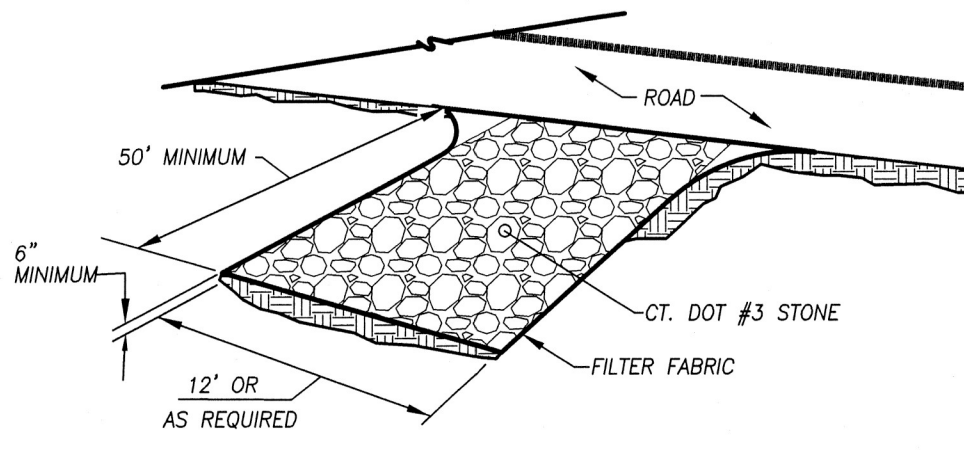
WOOD CHIP BERM

NOT TO SCALE



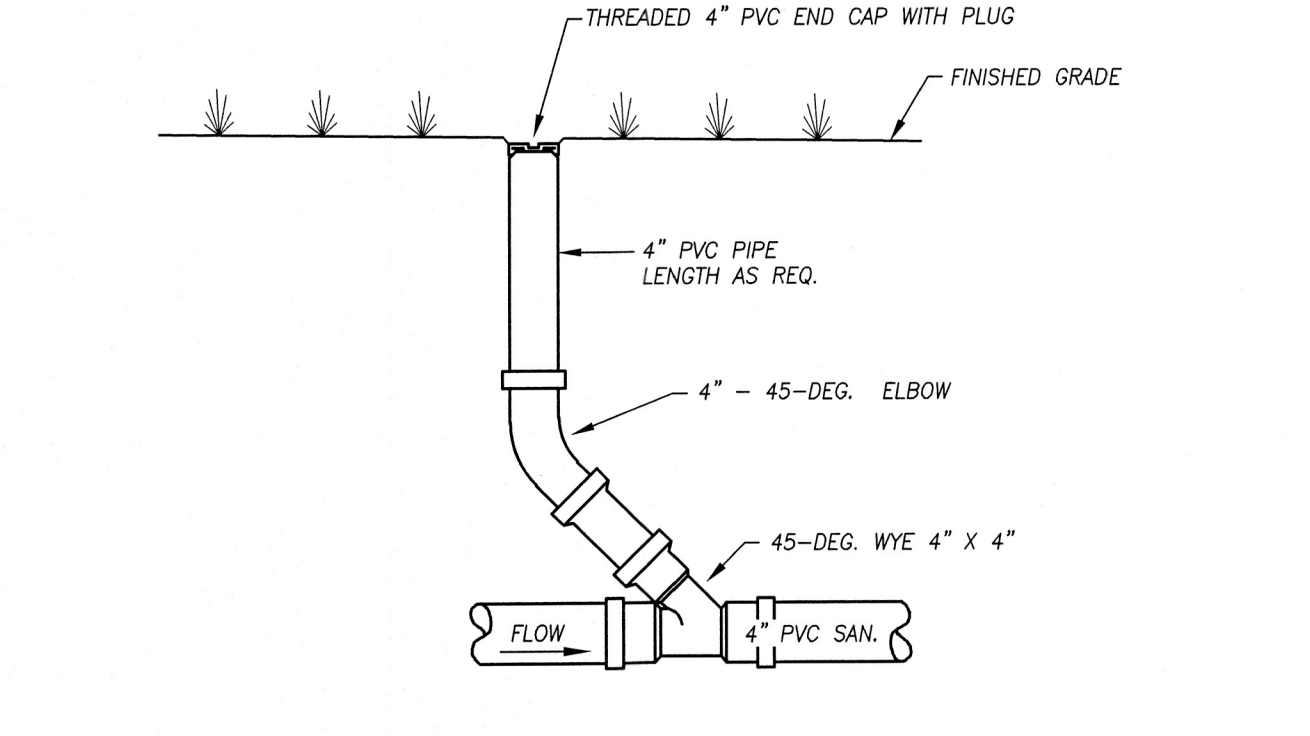
D-BOX DETAIL

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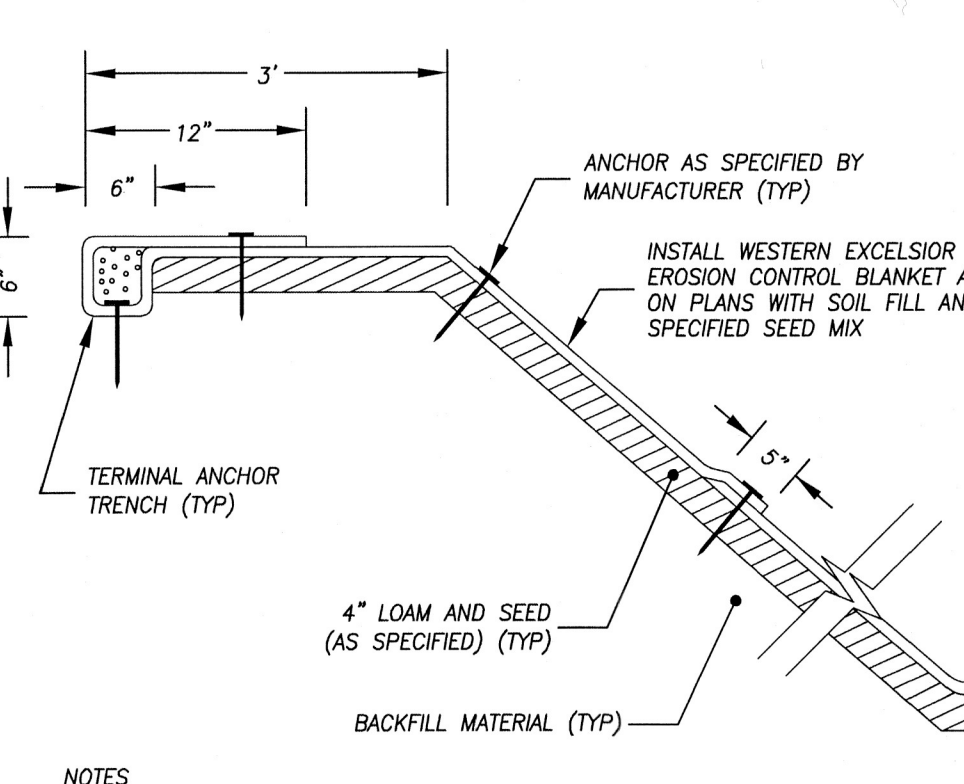
ANTI-TRACKING PAD AT DRIVEWAY

NOT TO SCALE



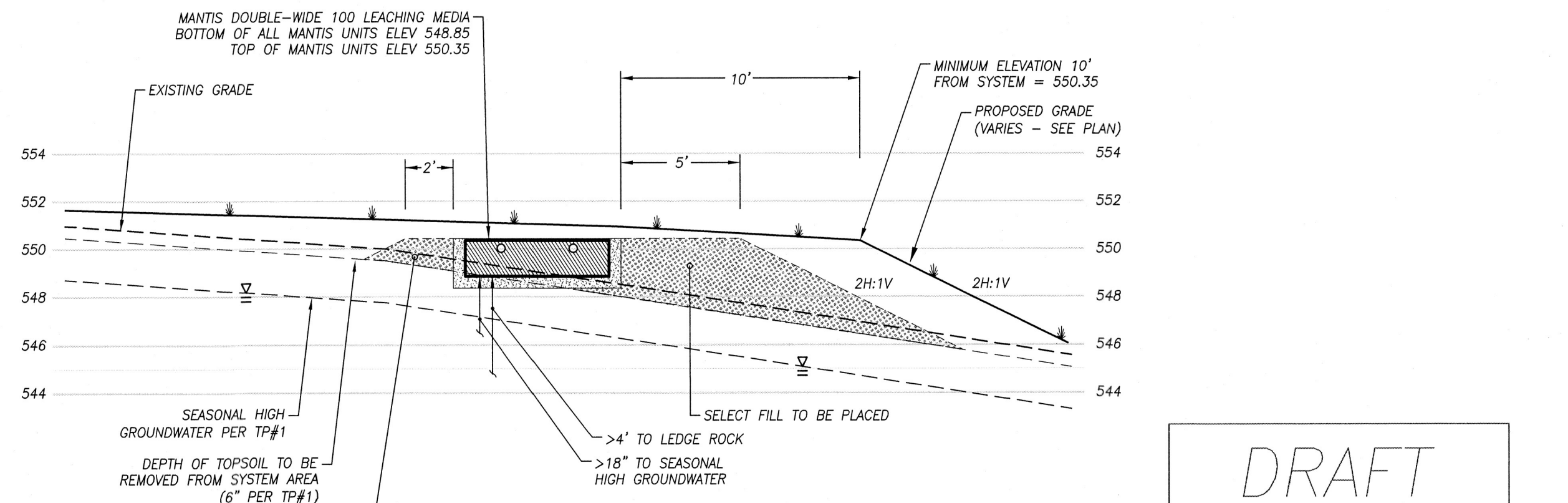
SANITARY CLEANOUT DETAIL

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EROSION CONTROL BLANKET DETAIL

NOT TO SCALE



LEACHING SYSTEM CROSS SECTION A-A

SCALE: 1"=5' (HORIZONTAL & VERTICAL)

DRAFT
12-1-23