

SEP 26 2023

TOWN OF WOODSTOCK
INLAND WETLANDS AND WATERCOURSES AGENCY

TOWN OF WOODSTOCK
LAND USE DEPT.

APPLICATION FOR PERMISSION TO CONDUCT A REGULATED ACTIVITY WITHIN AN INLAND WETLAND OR WATER COURSE AREA IN THE TOWN OF WOODSTOCK, CONNECTICUT.

(In accordance with the Woodstock Inland Wetlands and Watercourses Regulations, and the regulations of the Connecticut Department of Environmental Protection)

INSTRUCTIONS: All applicants must complete Section 1 of this application form for preliminary review. The Agency will then notify the applicant of any additional information that may be required and will schedule a public hearing, if necessary. In addition to the information supplied in Section 1, the applicant should submit other supporting facts or documents which may assist the Agency in its evaluation of this proposal.
NO PERMIT SHALL BE TRANSFERRED WITHOUT PERMISSION OF AGENCY.

SECTION I

1. Name of Applicant Madelyn Straub (if not applicant) Name of Property Owner _____
Address 2 Big Horn Ln Woodstock, Ct 06282 Address _____
Telephone # 860 833 2657 Telephone # _____

2. Attach a written consent to the proposed activity by the owner, if applicant is not the property owner.
3. Street Location of the Property: 2 Big Horn Ln Woodstock Ct 06282
Specific directions: corner of Laurel Hill Rd and Big Horn Ln on Laurel Bungee
Utility Pole Number if present: 1414
(Use an additional sheet, if necessary, to draw a sketch showing the property in relation to surrounding roads.)

4. Purpose and Description of Activity for which Authorization is Requested
a. Proposed activity will involve the following: (Check appropriate activity):
Alteration Construction _____ Deposition or _____ Removal of material _____ Waste Disposal _____
b. Attach a general description of the proposal and identification of each regulated activity for which permit is sought. Include nature, area and a volume of material to be placed, removed or transferred. Lineal measurements of affected water-courses or wetlands must also be given.
c. A detailed site plan of the proposal must be included.
d. Purpose of the proposed activity (i.e., a new dwelling, addition to existing dwelling, new business, driveway, etc.):
Re-construction of existing lake wall

5. Attach a copy of soils map section and copy of U.S. Geological survey map section which contains the proposed activity if any watercourses are altered in any way.
6. Names and Addresses of Adjacent Property Owners (attach separate sheet).

The undersigned applicant hereby consents to necessary and proper inspections of the above-mentioned property by Agents of the Inland Wetlands and Watercourses Agency, at reasonable times, both before and after the permit in question has been granted by the Agency. In evaluating this application, the Agency has relied on information provided by the applicant and, if such information subsequently proves to be false, deceptive, incomplete and/or inaccurate, this permit may be modified, suspended or revoked.
The undersigned swears that the information supplied in the complete application is accurate to the best of his/her knowledge and belief.

Signature of Applicant [Signature] Date 9/25/23

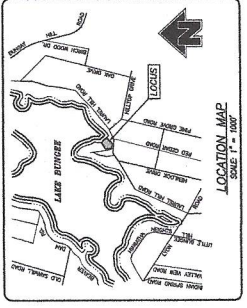
SECTION II

TO BE FILLED IN BY AGENCY

Date Filed 9/26/23 Application # 09-23-08 Fee: 95

Approved with the following conditions: All erosion controls required are to be inspected and approved by the Enforcement Officer prior to the start of the approved activity. Failure to arrange for the inspection and secure approval may VOID the permit.

This approval covers only specific activities described in this application.
By: _____ Date Approved _____ Expires: _____
Chairperson
Erosion controls inspected on _____ Date _____ by _____
Bonding (if required) posted on _____ Date _____ by _____ release date _____



SEPTIC SYSTEM DESIGN DATA

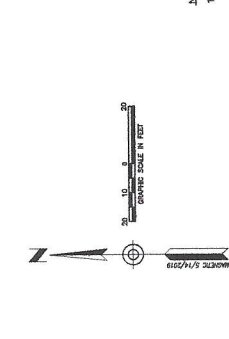
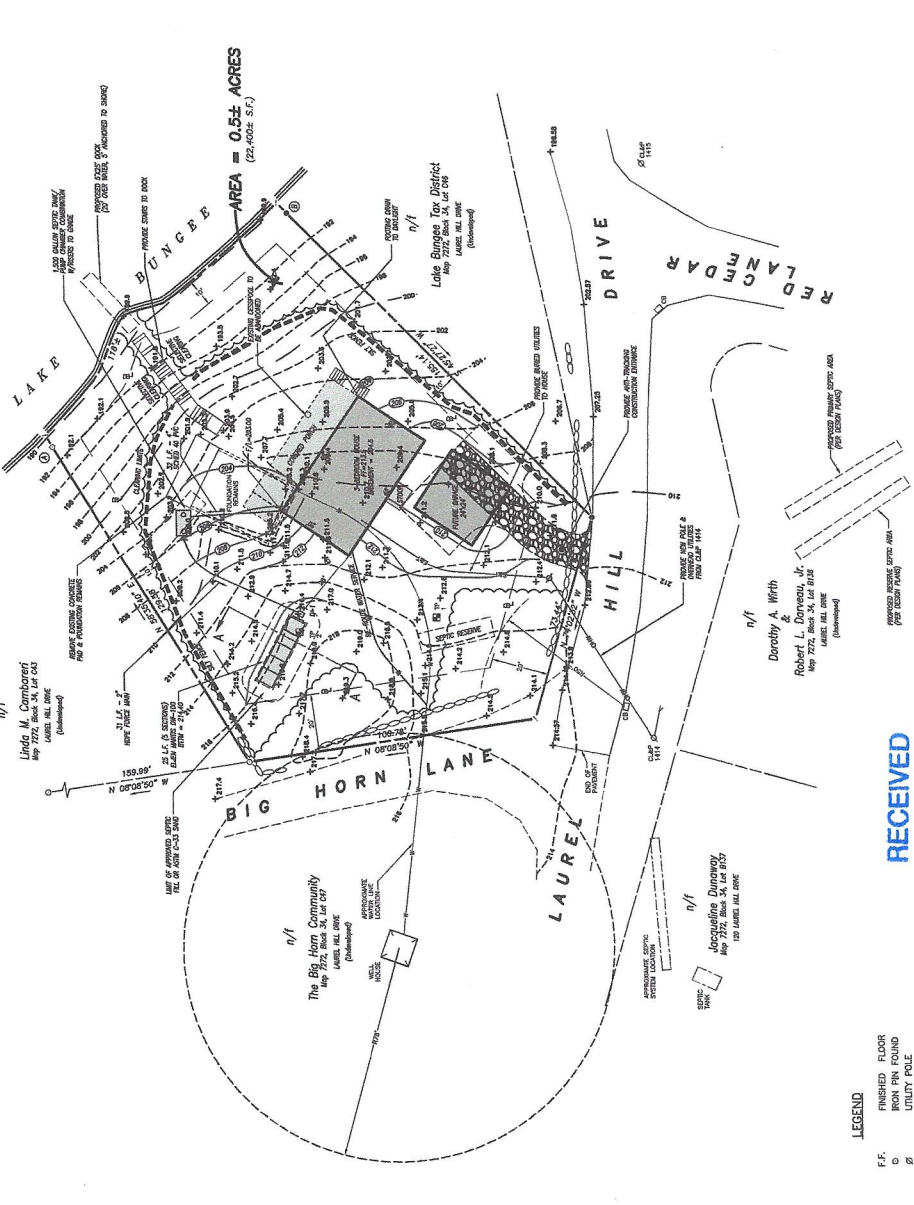
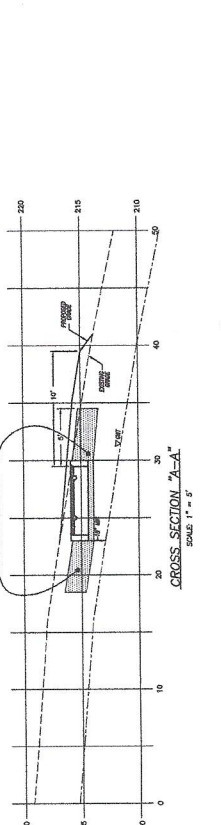
Percolation Rate = 10 in. / hr.
 3 bedroom house requires = 495 s.f. effective leaching area
 Effective Leaching area = 20 s.f. / ft. of Elgin Manhole 18"-100"
 Length Required = 495/20 = 24.75 ft.
 Length Provided = 25 ft.
 Min. Leaching System Spread = 10 x 1.5 x 1.0 = 15'
 (MUS)

LEACHING FIELD
 = 25'

1 - 25' row of Elgin Manhole 18"-100" single leaching units
 Maximum depth into existing grade = 33"

TEXT TABLE DATA - Date 10-20-2020
 National Electric Contractors Association of America

TEXT SET	DEPTH	DESCRIPTION
1	0'-0"	Gravel, Rocks, Sand, Very Rocky
	0'-0" - 2'-0"	Loamy Very Fine Sand, Very Rocky
	2'-0" - 5'-0"	Medium Sand with Loamy Fine Sand
	5'-0" - 10'-0"	Medium Sand
	10'-0" - 15'-0"	Medium Sand
	15'-0" - 20'-0"	Medium Sand
	20'-0" - 25'-0"	Medium Sand
	25'-0" - 30'-0"	Medium Sand
	30'-0" - 35'-0"	Medium Sand
	35'-0" - 40'-0"	Medium Sand
	40'-0" - 45'-0"	Medium Sand
	45'-0" - 50'-0"	Medium Sand
	50'-0" - 55'-0"	Medium Sand
	55'-0" - 60'-0"	Medium Sand
	60'-0" - 65'-0"	Medium Sand
	65'-0" - 70'-0"	Medium Sand
	70'-0" - 75'-0"	Medium Sand
	75'-0" - 80'-0"	Medium Sand
	80'-0" - 85'-0"	Medium Sand
	85'-0" - 90'-0"	Medium Sand
	90'-0" - 95'-0"	Medium Sand
	95'-0" - 100'-0"	Medium Sand



SURVEYOR SHALL SET A BENCH MARK IN THE AREA OF THE SEPTIC SYSTEM AT THE TIME OF CONSTRUCTION STAKE-OUT

SEPTIC TANK
 1000 GALLON
 7' x 8' = 292.25
 7' x 10' = 386.75

PUMP CHAMBER
 100 GALLON
 7' x 8' = 292.25
 7' x 10' = 386.75

DISTRIBUTION BOXES
 2 x 4' x 8' = 215.7
 7' x 4' = 215.7

- NOTES**
- This survey has been prepared pursuant to the Regulations of the State Surveyors for Survey and Map in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. on September 26, 1995.
 - This survey conforms to a Class "A-2" national accuracy.
 - Topographic features conform to a Class "1-2", "1-2" vertical accuracy.
 - Survey type Improvement Locality Survey.
 - Boundary Determination Category: Dependent Recovery.
 - Zone = Lake District.
 - Owner of record: Edward W. Straub, III, Woodstock, CT 06225 See Vol. 645, Pg. 465
 - Parcel is shown as Lot #244, Block #24 on Assessor's Map #7772.
 - Boundaries shown are based on an assumed datum. Contours shown are taken from vertical field survey. Contour interval = 2'.
 - Test Pit data taken from NDDH file number 20000324.
 - Before any construction is to commence contact "CALL BEFORE YOU DIG" at 1-800-822-4454 or 811.
 - A closing line is a random line used for technical purposes. It is not to be construed as a boundary line.
- MAP REFERENCE**
 Closing Line @ = S 43°37'39" E 115.58'
- LAKE BUNGEE DEVELOPMENT** = Section C & Lots 164-243 of Section E - Property of Lake Bungee Incorporated, Woodstock, CT 06225. Prepared by Reinhold Lathrop, P.E. On file in the Woodstock Land Records.

DATE	REVISIONS
02/14/2022	WORKED HOUSE & SEPTIC
10/27/2020	PER ADMIN REVIEW

GENERAL LOCATION SURVEY
 SEPTIC SYSTEM DESIGN PLAN
 PREPARED FOR
EDWARD W. STRAUB, III
 2 BIGHORN LANE
 WOODSTOCK, CONNECTICUT

Killingly Engineering Associates
 Civil Engineering & Surveying

100 Main Street
 Killingly, CT 06242
 Phone: 860-735-2759
 www.killinglyeng.com

DATE: 10/20/2020
 SCALE: 1" = 20'
 SHEET: 1 OF 2
 DRAWN: AMR
 DESIGNED: HET
 CHECKED: JCB
 DATE: 10/20/2020

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

GREG A. GAUDE, L.S.
 LICENSE NO. 70193
 DATE 10/20/2020
 I, GREG A. GAUDE, L.S., CERTIFY THAT THIS MAP BEGINS THE ORIGINAL SURVEY AND SIGNATURE OF THE LAND SURVEYOR.

RECEIVED

SEP 26 2023

TOWN OF WOODSTOCK
 LAND USE DEPT.

LEGEND

- F.F. FINISHED FLOOR
- Ø IRON PIN FOUND
- Ø UTILITY POLE
- Ø CATCH BASIN
- PROPOSED CONTOURS
- BUILDING SETBACK LINE
- PERCOLATION TEST HOLE
- TEST HOLE
- STAKE
- SET FENCE

Knibit



RECEIVED

SEP 26 2023

TOWN OF WOODSTOCK
LAND USE DEPT.

Attachments

4b

Proposed Lake Wall

Services to Include:

Following approvals (*by others*),
construct a natural stone lake wall on a 'dry' footing
The wall will be approximately 70' long
The wall will be approximately 16 to 18" high, at the water's edge
Includes up to 100 square feet of wall

6

Linda M Cambareri Big Horn Ln Woodstock CT, 06282

RECEIVED

SEP 26 2023

TOWN OF WOODSTOCK
LAND USE DEPT.

Dan Malo

From: Tim Tomko <creativetimtomko@sbcglobal.net>
Sent: Tuesday, November 28, 2023 12:55 PM
To: Dan Malo
Cc: Madelyn Straub; Ted Straub
Subject: 2 Big Horn Ln
Attachments: StraubSketch23Nov28.pdf; Straub Site lakewall location.jpg; 167 LaurelHill2.JPG; 167LaurelHill4.jpg

Hello Dan

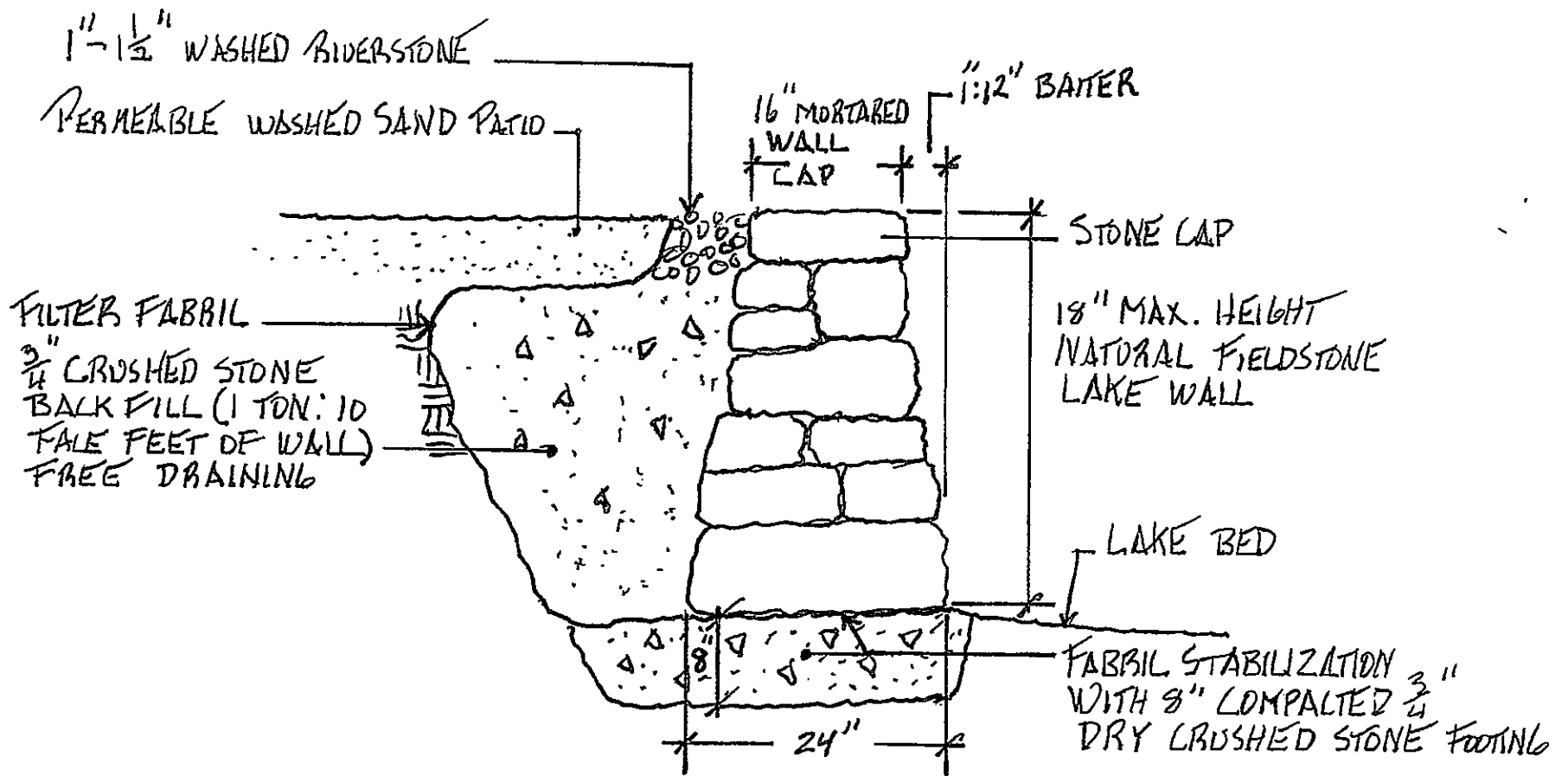
Thank you for the feedback from commission members. Attached is a cross section Specific to the proposed lake wall at the Straub residence. In addition I have attached the best photograph I have of the Straub site where the lake wall is proposed to be constructed. Unfortunately it doesn't show the actual waterfront. The second set of pictures shows the lake wall we constructed at 167 laurel hill just up the road from the Straub residence.

Please let us know if you will be able to forward this information to the commission for the next meeting or if this is something my clients will need to facilitate. The wall at 167 was constructed at the waters edge also. I think this will be a great example for the rest of the commission to see in making their decision at the next meeting.

Please let us know if there is any other required or requested information. Based on the recording of the meeting I believe this should provide the information the commission is looking for.

Thank you

Tim Tomko
Landscape Designer
Project Manager
Creative Exteriors, LLC
1145 Hartford Turnpike
Vernon, CT 06066
860-870-8789 phone
860-896-0716 fax
www.creativeexteriorsllc.com
creativetimtomko@sbcglobal.net



TYPICAL LAKE WALL SECTION

RE: STRAUB RESIDENCE
 2 BIG HORN LANE
 WOODSTOCK, CT

NOT TO SCALE





