

**TOWN OF WOODSTOCK
INLAND WETLANDS AND WATERCOURSES AGENCY**

APPLICATION FOR PERMISSION TO CONDUCT A REGULATED ACTIVITY WITHIN AN INLAND WETLAND OR WATER COURSE AREA IN THE TOWN OF WOODSTOCK, CONNECTICUT.

(In accordance with the Woodstock Inland Wetlands and Watercourses Regulations, and the regulations of the Connecticut Department of Environmental Protection)

INSTRUCTIONS: All applicants must complete Section 1 of this application form for preliminary review. The Agency will then notify the applicant of any additional information that may be required and will schedule a public hearing, if necessary. In addition to the information supplied in Section 1, the applicant should submit other supporting facts or documents which may assist the Agency in its evaluation of this proposal.

NO PERMIT SHALL BE TRANSFERRED WITHOUT PERMISSION OF AGENCY.

SECTION I

1. Name of Applicant Patrick Blumberg (if not applicant) Name of Property Owner Patrick Blumberg
 Address map 7250 Address _____
Block 29 Lot 58C _____
 Telephone # 508-335-9813 Telephone # 508-335-9813

2. Attach a written consent to the proposed activity by the owner, if applicant is not the property owner.
 3. Street Location of the Property: map 7250 Block 29 Lot 58C A
 Specific directions: Route 169

Utility Pole Number if present: _____

(Use an additional sheet, if necessary, to draw a sketch showing the property in relation to surrounding roads.)

4. Purpose and Description of Activity for which Authorization is Requested

a. Proposed activity will involve the following: (Check appropriate activity):

Alteration _____ Construction Deposition or _____ Removal of material _____ Waste Disposal _____

b. Attach a general description of the proposal and identification of each regulated activity for which permit is sought. Include nature, area and a volume of material to be placed, removed or transferred. Lineal measurements of affected water-courses or wetlands must also be given.

c. A detailed site plan of the proposal must be included.

d. Purpose of the proposed activity (i.e., a new dwelling, addition to existing dwelling, new business, driveway, etc.):

Drive way crossing

5. Attach a copy of soils map section and copy of U.S. Geological survey map section which contains the proposed activity if any watercourses are altered in any way.

6. Names and Addresses of Adjacent Property Owners (attach separate sheet).

The undersigned applicant hereby consents to necessary and proper inspections of the above-mentioned property by Agents of the Inland Wetlands and Watercourses Agency, at reasonable times, both before and after the permit in question has been granted by the Agency. In evaluating this application, the Agency has relied on information provided by the applicant and, if such information subsequently proves to be false, deceptive, incomplete and/or inaccurate, this permit may be modified, suspended or revoked.

The undersigned swears that the information supplied in the complete application is accurate to the best of his/her knowledge and belief.

Patrick Blumberg
 Signature of Applicant

10-19-23
 Date

SECTION II

TO BE FILLED IN BY AGENCY

Date Filed _____ Application # _____ Fee: _____

Approved with the following conditions: All erosion controls required are to be inspected and approved by the Enforcement Officer prior to the start of the approved activity. Failure to arrange for the inspection and secure approval may VOID the permit.

This approval covers only specific activities described in this application.

By: _____ Date Approved _____ Expires: _____
 Chairperson

Erosion controls inspected on _____ by _____
 Date

Bonding (if required) posted on _____ by _____ release date _____
 Date

RECEIVED
 OCT 19 2023

TOWN OF WOODSTOCK
 LAND-USE DEPT

Dan Malo

From: Tracy Giarrusso
Sent: Wednesday, October 11, 2023 8:49 AM
To: Woodstock ZEO
Cc: Dan Malo
Subject: FW: Lot 58c rt 169 Woodstock, CT

From: Delia Fey <delia.fey@necog.org>
Sent: Tuesday, October 10, 2023 2:10 PM
To: Tracy Giarrusso <tracygiarrusso@woodstockct.gov>
Subject: Re: Lot 58c rt 169 Woodstock, CT

Hi Tracy,

I hope you found my note re: Blomberg. He came back after the issue with the mylar not getting filed and then got reapproved in 2015 and filed those mylars. He's already paid his fee in-lieu of open space so as far as subdivision goes he should be all set with the caveat he has to comply with the approval and any conditions PZC may have placed on the approval. He does have a wetlands crossing so I'll leave that up to Dan to determine if it's still valid or if it needs a renewal or a new application - I don't get involved in IWWA. If those are all set, he should be ready to seek his zoning permit and then a building permit which also of course involves getting final approval from NDDH.

Delia

Delia P Fey, AICP

Senior Regional Planner

Northeastern Connecticut Council of Governments

860-774-1253 x20

delia.fey@necog.org

necog.org

Please note: The information contained in this e-mail and any attachments hereto are intended only for the personal and confidential use of the designated recipients. If the reader/recipient of this message is not the intended recipient, you are hereby notified that you have received this e-mail and all attachments hereto in error and that any review, dissemination, distribution or copying of this e-mail or any of its attachments is strictly

On Oct 20, 2023, at 2:03 PM, Spencer Schmeelk <spencer.pwillisconstruction@gmail.com> wrote:

Hello Dan,

We are going to follow the existing site plan exactly how it's described.

We will be installing silt fence in the lower right corner of the property and along the road.

The project will start with the installation of the silt fence, followed by the installation of the driveway and culvert pipe. That process would start by stripping and stockpiling the topsoil in the main trunk driveway area. We would then install a 3" minus processed gravel followed by a trap rock anti-tracking pad or construction entrance. We would also install the underground utility's (pending eversource approval) at this time. We would then grade and stabilize the wetland area before moving on to the excavation of any structures. The building schedule would start with the storage barn and the septic system attached to it followed by the house and its septic system.

We will be using an excavator, a skid steer, a grader and a vibratory roller to build the driveway.

Thank you,

Spencer

SUBDIVISION PLAN PREPARED FOR PATRICK L. BLOMBERG, Jr. CONNECTICUT ROUTE 169 WOODSTOCK, CT. MARCH, 2013

ZONING INFORMATION

ZONE: COMMUNITY DISTRICT

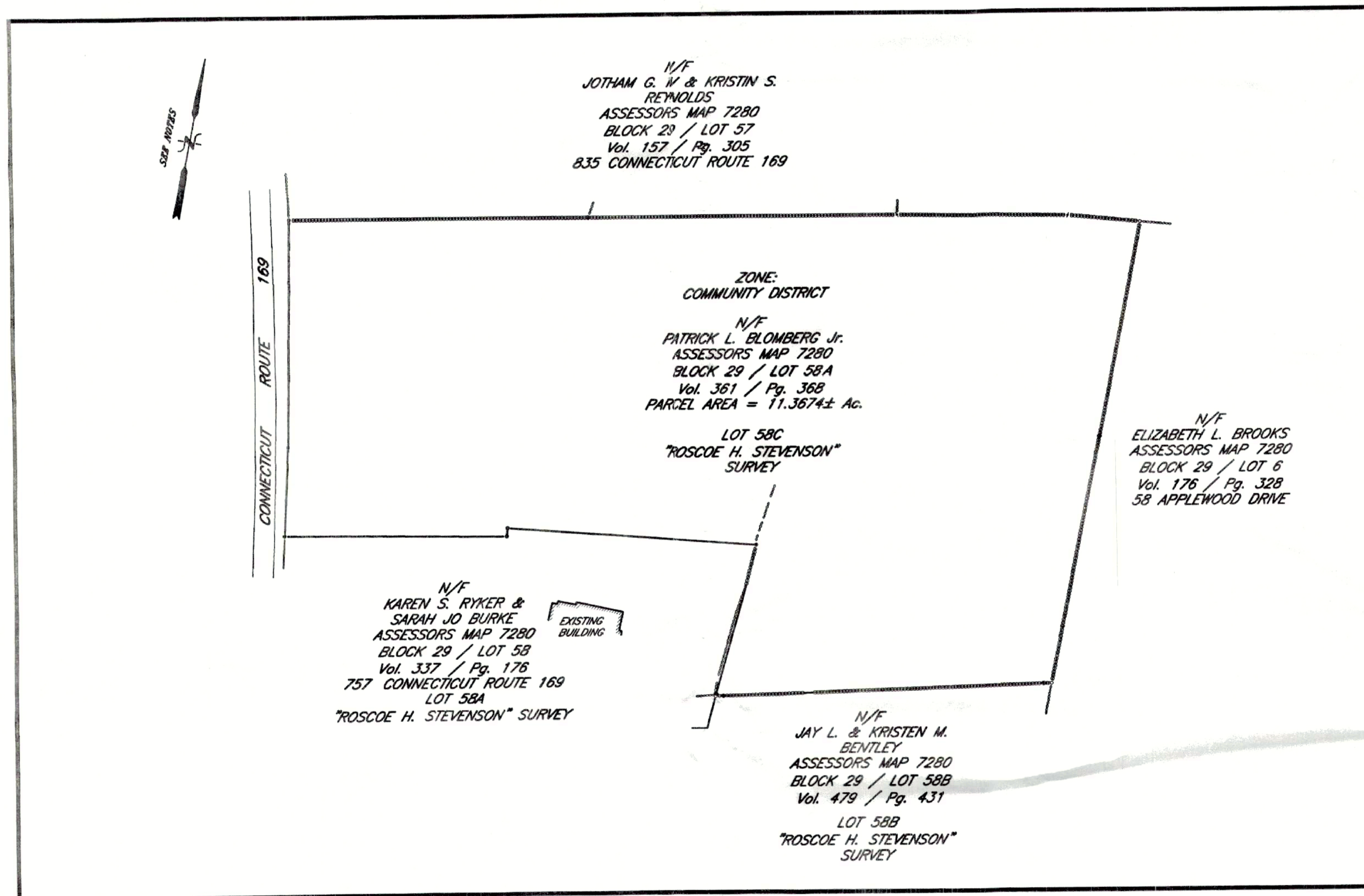
LOT AREA: 2.5 ACRES MINIMUM PER DWELLING UNIT (EXCLUSIVE OF ANY ACCESSORY APARTMENT), INCLUDING 1.0 ACRE MINIMUM OF CONTIGUOUS BUILDING AREA, EXCLUSIVE OF WETLANDS, WATERCOURSES, WATER BODIES AND FEDERAL 100-YEAR FLOODPLAIN AREAS.

DWELLING UNITS ALLOWED PER RESIDENTIAL LOT: ONE (1) DWELLING STRUCTURE CONTAINING NO MORE THAN TWO (2) DWELLING UNITS (FOR CONFORMING LOTS), INCLUDING ONE (1) ACCESSORY APARTMENT.

LOT FRONTAGE: 100 FEET MINIMUM ON AN APPROVED TOWN ROAD, STATE HIGHWAY, OR PRIVATE ROAD, OR 25 FEET MINIMUM ON AN APPROVED COMMON DRIVEWAY OUTLETING TO AN APPROVED TOWN ROAD OR STATE HIGHWAY.

PRIMARY STRUCTURE :
FRONT YARD SETBACK 50 FEET MINIMUM
SIDE YARD SETBACK 20 FEET MINIMUM
REAR YARD SETBACK 20 FEET MINIMUM

SUBSURFACE SEWAGE DISPOSAL SYSTEM: 50 FEET MINIMUM SETBACK FROM INLAND WETLAND OR WATERCOURSE
20 FEET MINIMUM SETBACK FROM ALL BOUNDARY LINES AT THE EXTERIOR OF THE ORIGINAL PARCEL PROPOSED FOR SUBDIVISION



LOCATION MAP
SCALE: 1"=100'

SHEET INDEX

- 1 TITLE SHEET
- 2 RECORD SUBDIVISION MAP
- 3 GENERAL LOCATION PLAN
- 4 IMPROVEMENT LOCATION PLAN
- 5 SITE RESOURCE ASSESSMENT MAP
- 6 SITE RESOURCE ASSESSMENT MAP
- 7 PROPERTY HISTORY
- 8 NOTES AND DETAILS

Subdivision: #626-07-15 Patrick Blomberg
Approval date: 7/16/15, requires a fee in-lieu of open space
PZC Chairman/Secretary _____ Date _____

Special Note: This application #626-07-15 was previously approved by the Woodstock Planning and Zoning Commission on June 20, 2013 as #612-05-13 and due to mylars not being filed was submitted and approved again as a separate new application by the Planning and Zoning Commission on July 16, 2015.

CONDITIONS OF APPROVAL BY THE PLANNING AND ZONING COMMISSION:

- THE EROSION AND SEDIMENT CONTROL BOND WAS SET AT \$7,596.00
- THE FEE IN-LIEU OF OPEN SPACE WAS APPROVED IN THE AMOUNT OF \$11,000.00

PROPERTY OWNER & APPLICANT:

PATRICK L. BLOMBERG, Jr.
P.O. BOX 255
EAST WOODSTOCK, CT 06244

<p>ROBERT R. MESSIER L.S. #12056</p>	<p>RAYMOND F. NELSON, JR. P.E. #08434</p>	<p>COPYRIGHT © 2013 MESSIER & ASSOCIATES, INC. SURVEYORS - ENGINEERS</p> <p>THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER/SURVEYOR AND HAVE BEEN PREPARED SPECIFICALLY FOR THE OWNER FOR THIS PROJECT AT THIS SITE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION, OR OWNER WITHOUT WRITTEN CONSENT OF THE ENGINEER/SURVEYOR.</p> <p>NO DECLARATION IS EXPRESSED OR IMPLIED UNLESS THIS PLAN BEARS THE EMBOSSED SEAL OF THE LAND SURVEYOR AND/OR PROFESSIONAL ENGINEER WHOSE SIGNATURE APPEARS HEREON.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV.</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>09-26-12</td> </tr> <tr> <td>2</td> <td>02-04-13</td> </tr> <tr> <td>3</td> <td>05-10-13</td> </tr> <tr> <td>4</td> <td>05-15-13</td> </tr> <tr> <td>5</td> <td>09-21-15</td> </tr> </tbody> </table>	REV.	DATE	1	09-26-12	2	02-04-13	3	05-10-13	4	05-15-13	5	09-21-15	<p style="text-align: right;">(COMP. FILE =11-034-COVER.DWG)</p> <p>MESSIER & ASSOCIATES, Inc. SURVEYORS - ENGINEERS PUTNAM, CT (860) 928-1171 MANCHESTER, CT (860) 646-8013 www.messiersurvey.com</p> <p style="text-align: center;">SURVEY-SUBDIVISION-SITE DESIGN-CONSTRUCTION LAYOUT</p> <p style="text-align: center;">TITLE SHEET</p>
REV.	DATE															
1	09-26-12															
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4	05-15-13															
5	09-21-15															

N/F
 JOTHAM G. III & KRISTIN S.
 REYNOLDS
 ASSESSORS MAP 7280
 BLOCK 29 / LOT 57
 Vol. 157 / Pg. 305
 835 CONNECTICUT ROUTE 169

ZONE:
 COMMUNITY DISTRICT
 N/F
 PATRICK L. BLOMBERG JR.
 ASSESSORS MAP 7280
 BLOCK 29 / LOT 58A
 Vol. 361 / Pg. 368
 PARCEL AREA = 11.3674± AC.
 LOT 58C
 "ROSCOE H. STEVENSON"
 SURVEY

N/F
 ELIZABETH L. BROOKS
 ASSESSORS MAP 7280
 BLOCK 29 / LOT 6
 Vol. 176 / Pg. 328
 58 APPLEWOOD DRIVE

GENERAL NOTES

THIS MAP/PLAN WAS PREPARED FOR THE EXPRESS PURPOSES OF DEFECTING A SUBDIVISION OF THE SUBJECT PREMISES. IT IS BASED ON LIMITED RECORD RESEARCH, DEEDS, MAPS, LIMITED FIELD INVESTIGATION AND OTHER SOURCES. REFERENCE IS MADE TO MAPS ENTITLED:

"SUBDIVISION PLAN PREPARED FOR DAVID HOLME, ROUTE 169, WOODSTOCK, CONNECTICUT, SCALE: 1"=60', DATE: 10/11/2000, SHEET 1 OF 1, KWP ASSOCIATES."

"SURVEY PLAN PREPARED FOR ROSCOE H. STEVENSON, ROUTE #169, WOODSTOCK, CONNECTICUT, SCALE: 1"=60', DATE: MAY 10, 1991, SHEET 1 OF 1, KWP ASSOCIATES, RICHARD J. SCHAD, L.S."

"SURVEY PLAN PREPARED FOR ROSCOE H. STEVENSON, ROUTE #169, WOODSTOCK, CONNECTICUT, SCALE: 1"=40', 11/11/1987, KREITMAN, WOODS & PINE."

"DIVISION OF LAND OWNED BY ELIZABETH L. BROOKS, APPLEWOOD DRIVE, WOODSTOCK, CONNECTICUT, SCALE: 1"=60', JUNE 2, 1987, ALBERT L. FITZBACK, L.L.S."

"PLOT PLAN, PETER D. DIVINCENZO & SANDRA DIVINCENZO, STATE HIGHWAY ROUTE 169, WOODSTOCK, CONN., SCALE: 1"=40', APRIL 12, 1971, GILBERT F. PERRY, C.E."

NOTE: THIS LOT IS SHOWN AS 58C ON THE MAP PREPARED BY KWP ASSOCIATES FOR ROSCOE H. STEVENSON AND IT STATES "NOT A BUILDING LOT AT THIS TIME USED FOR AGRICULTURAL PURPOSES" WITH AN ADDITIONAL NOTE: "SUBDIVISION APPROVAL IS REQUIRED BEFORE A BUILDING PERMIT CAN BE ISSUED ON EITHER LOT."

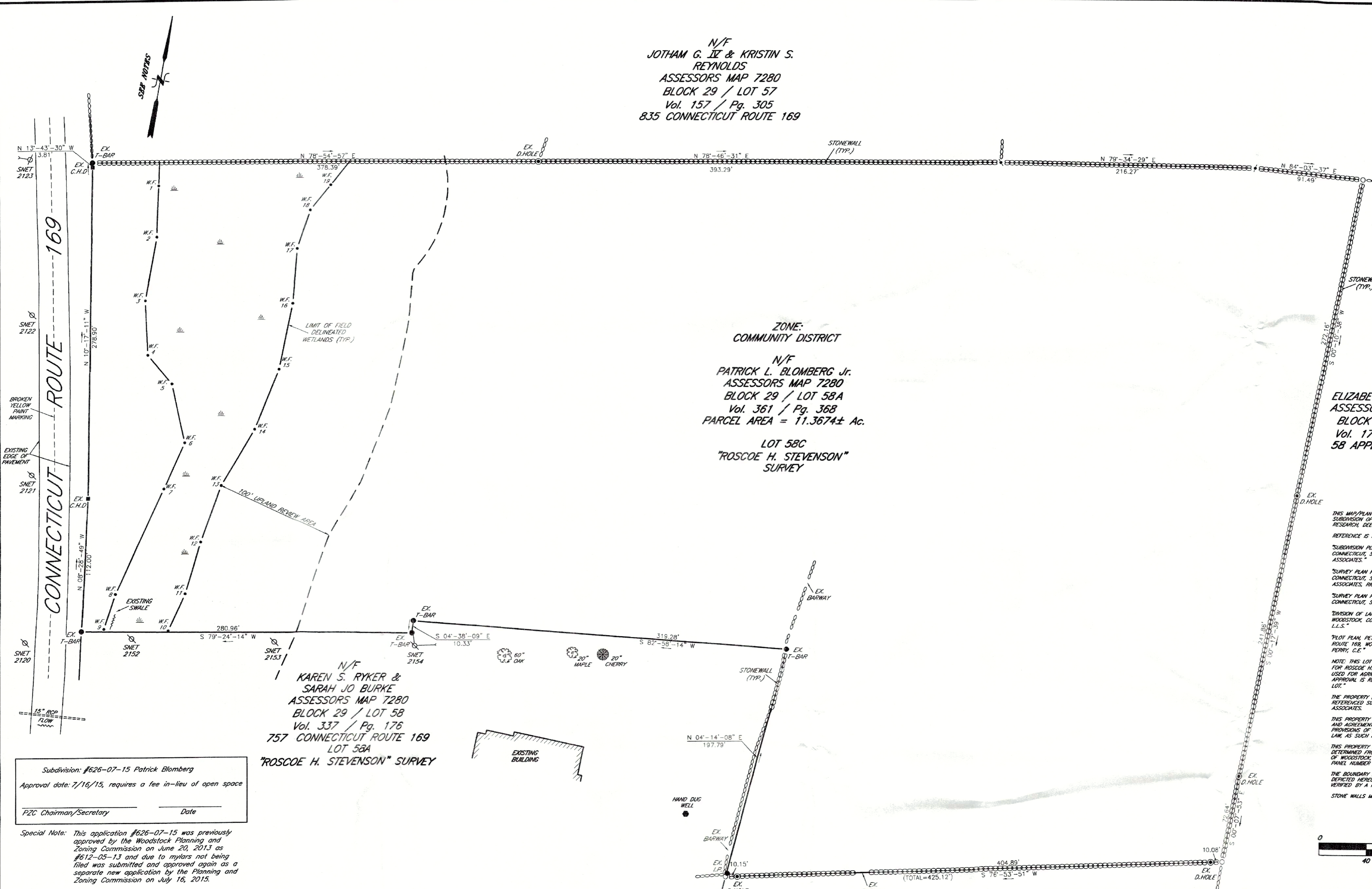
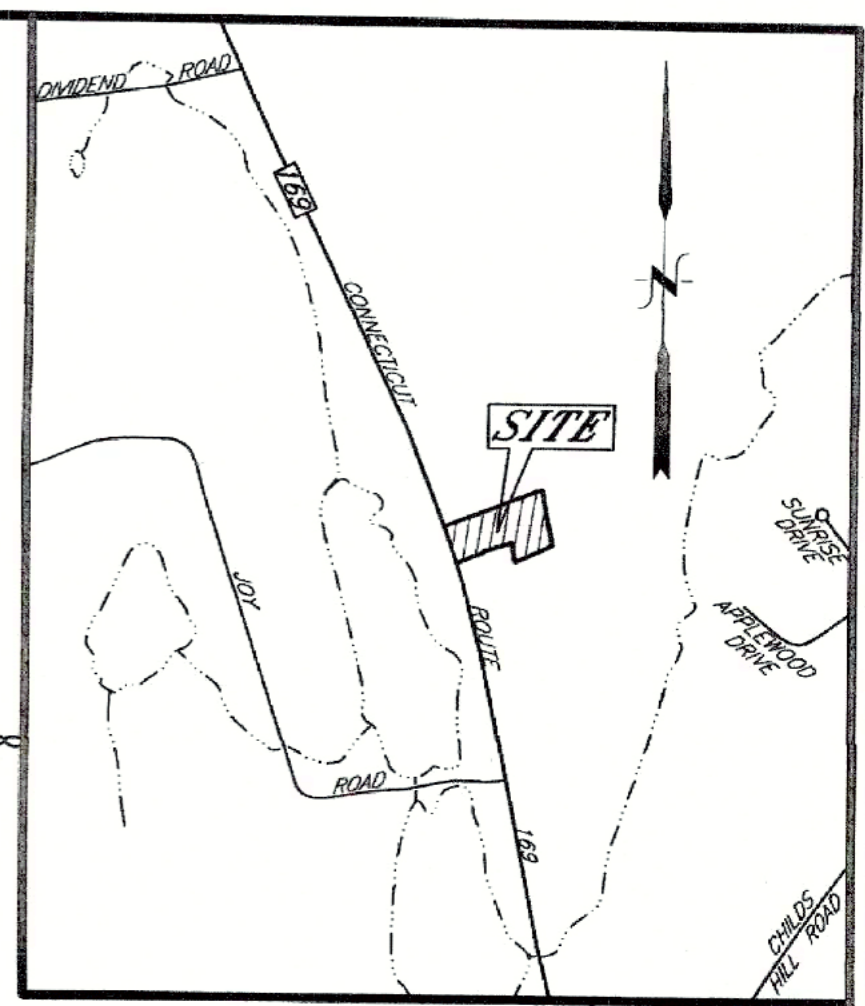
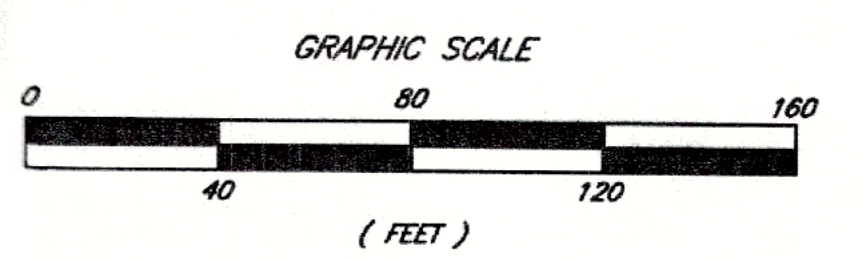
THE PROPERTY LINE BEARINGS AS SHOWN HEREON ARE BASED ON THE ABOVE REFERENCED SURVEY PLAN PREPARED FOR ROSCOE H. STEVENSON BY KWP ASSOCIATES.

THIS PROPERTY IS SUBJECT TO EASEMENTS, RIGHTS, COVENANTS, RESTRICTIONS AND AGREEMENTS AS OF RECORD THEY MAY APPEAR AND TO ANY AND ALL PROVISIONS OF ANY ORDINANCE, MUNICIPAL REGULATION OR PUBLIC OR PRIVATE LAW AS SUCH MAY APPLY.

THIS PROPERTY IS LOCATED OUTSIDE OF THE 100 YEAR FLOOD HAZARD ZONE AS DETERMINED FROM NATIONAL FLOOD INSURANCE PROGRAM FORM FOR THE TOWN OF WOODSTOCK, CONNECTICUT, WINDHAM COUNTY, PANEL 20 OF 30, COMMUNITY PANEL NUMBER 040120 0020 B, EFFECTIVE DATE, NOVEMBER 1, 1984.

THE BOUNDARY LINES OF PROPERTIES ADJACENT TO THE SUBJECT PREMISES ARE DEPICTED HEREON FOR INFORMATIONAL PURPOSES ONLY AND HAVE NOT BEEN VERIFIED BY A FIELD SURVEY.

STONE WALLS MAY VARY FROM THE PRINCIPAL COURSES DEPICTED HEREON.



Subdivision: #626-07-15 Patrick Blomberg
 Approval date: 7/16/15, requires a fee in-lieu of open space
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TOWN CLERK	DATE	TIME	MAP No.
TO THE BEST OF MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996, AND CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.			
SURVEY TYPE: SUBDIVISION MAP - ORIGINAL SURVEY			
BOUNDARY DETERMINATION CATEGORY: DEPENDENT RESURVEY			
01/13 DATE LICENSE NUMBER 12036			

- LEGEND**
- EXISTING PROPERTY CORNER MARKER
 - EXISTING BRILL HOLE
 - PROPERTY CORNER
 - EXISTING C.H.D. MONUMENT
 - ▲ PROPERTY BOUNDARY ANGLE POINT
 - ▬▬▬▬ EXISTING STONE WALL
 - ⊗ UTILITY POLE

LOCATION OF THE WETLANDS AS SHOWN WERE DETERMINED BY MICHAEL SCHAEFER, CPSS, CERTIFIED SOIL SCIENTIST, DANVILLE, CONNECTICUT, AND WERE FIELD LOCATED BY MESSIER AND ASSOCIATES, INC.

I HAVE DELINEATED THE WETLANDS ON THIS PROPERTY IN THE FIELD AND HAVE REVIEWED THE WETLANDS AS SHOWN ON THIS PLAN, AND FIND THAT THEY SUBSTANTIALLY REPRESENT THE WETLANDS AS DELINEATED IN THE FIELD.

MICHAEL G. SCHAEFER
 CERTIFIED SOIL SCIENTIST

N/F
 JAY L. & KRISTEN M.
 BENTLEY
 ASSESSORS MAP 7280
 BLOCK 29 / LOT 58B
 Vol. 479 / Pg. 431
 LOT 58B
 "ROSCOE H. STEVENSON"
 SURVEY

PROPERTY OWNER & APPLICANT:
 PATRICK L. BLOMBERG, JR.
 P.O. BOX 255
 EAST WOODSTOCK, CT 06244

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 PUTNAM, CT (860) 928-1171
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 www.messierandsurvey.com

SURVEY-SUBDIVISION-SITE DESIGN-CONSTRUCTION LAYOUT
RECORD SUBDIVISION MAP
 PREPARED FOR:
PATRICK L. BLOMBERG, Jr.
 LOT 58C
 CONNECTICUT ROUTE 169
 WOODSTOCK, CONNECTICUT

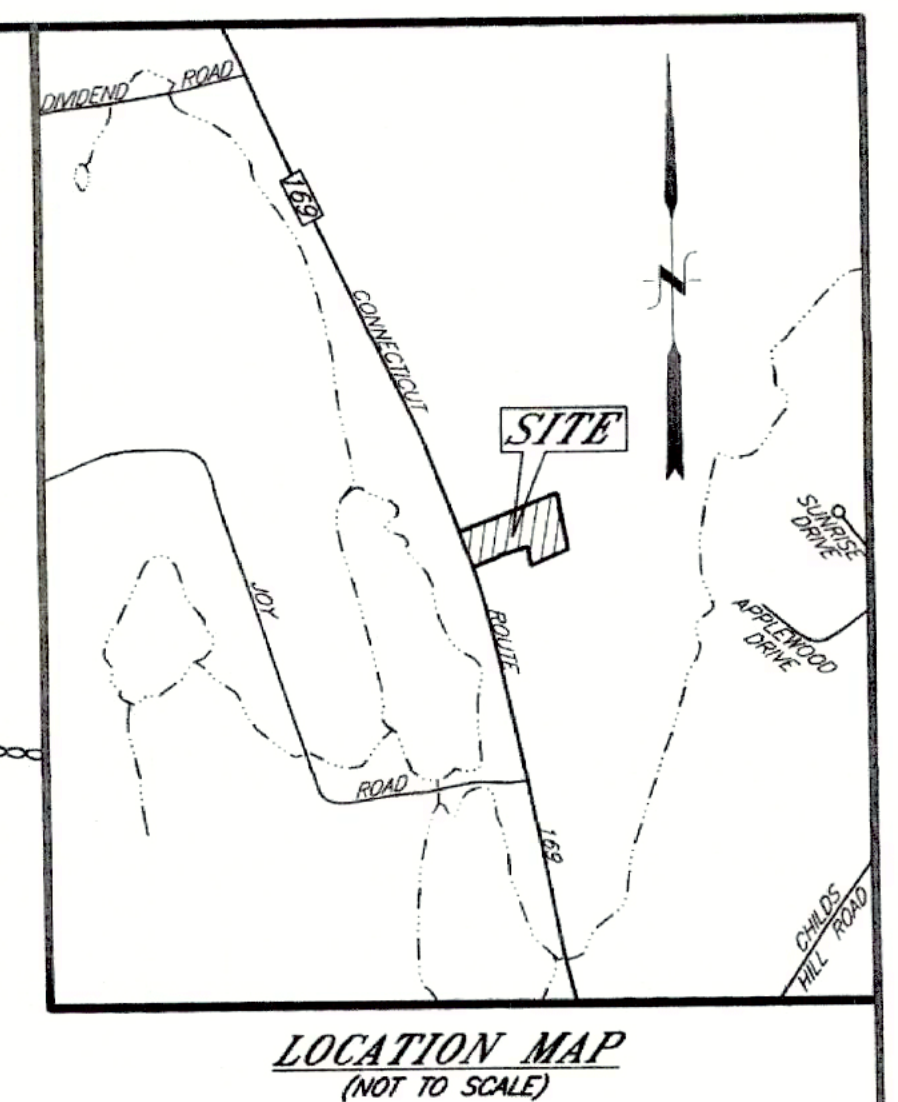
REV.	DATE	DESCRIPTION
1	09-21-15	PER REAPPROVAL
(COMP. FILE #11-034-SUB.DWG)		
DATE: 01/13		SCALE: 1"=40 FT.
DESIGN: RRM		DRAWN: DAS
CHECK: RRM		SHEET 2 OF 8
PROJECT No. 02-179		PLAN No. 11-034
ROBERT R. MESSIER L.S. #12056		

N/F
 JOTHAM G. II & KRISTIN S.
 REYNOLDS
 ASSESSORS MAP 7280
 BLOCK 29 / LOT 57
 Vol. 157 / Pg. 305
 835 CONNECTICUT ROUTE 169

SOIL MAPPING UNIT LEGEND

SYMBOL	DESCRIPTION
45B	WOODBRIDGE FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
61B	CANTON AND CHARLTON SOILS, 3 TO 8 PERCENT SLOPES, VERY STONY
84B	PATTON AND MONTAUK FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES

SOURCE: SOIL MAP - STATE OF CONNECTICUT
 WEB SOIL SURVEY
 NATIONAL COOPERATIVE SOIL SURVEY
 NATURAL RESOURCES CONSERVATION SERVICE



N/F
 ELIZABETH L. BROOKS
 ASSESSORS MAP 7280
 BLOCK 29 / LOT 6
 Vol. 176 / Pg. 328
 58 APPLEWOOD DRIVE

GENERAL NOTES

THIS MAP WAS PREPARED FROM RECORD RESEARCH, OTHER MAPS, LIMITED FIELD MEASUREMENTS AND OTHER SOURCES FOR THE EXPRESS PURPOSES OF DEFINING CERTAIN EXISTING PHYSICAL FEATURES AND PROPOSED IMPROVEMENTS TO BE CONSTRUCTED ON THE SUBJECT PROPERTY, AND TO OBTAIN THE NECESSARY PERMITS AND APPROVALS FOR SUCH WORK.

REFERENCE IS MADE TO MAPS ENTITLED:

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ELEVATIONS ARE BASED ON AN ASSUMED VERTICAL DATUM.

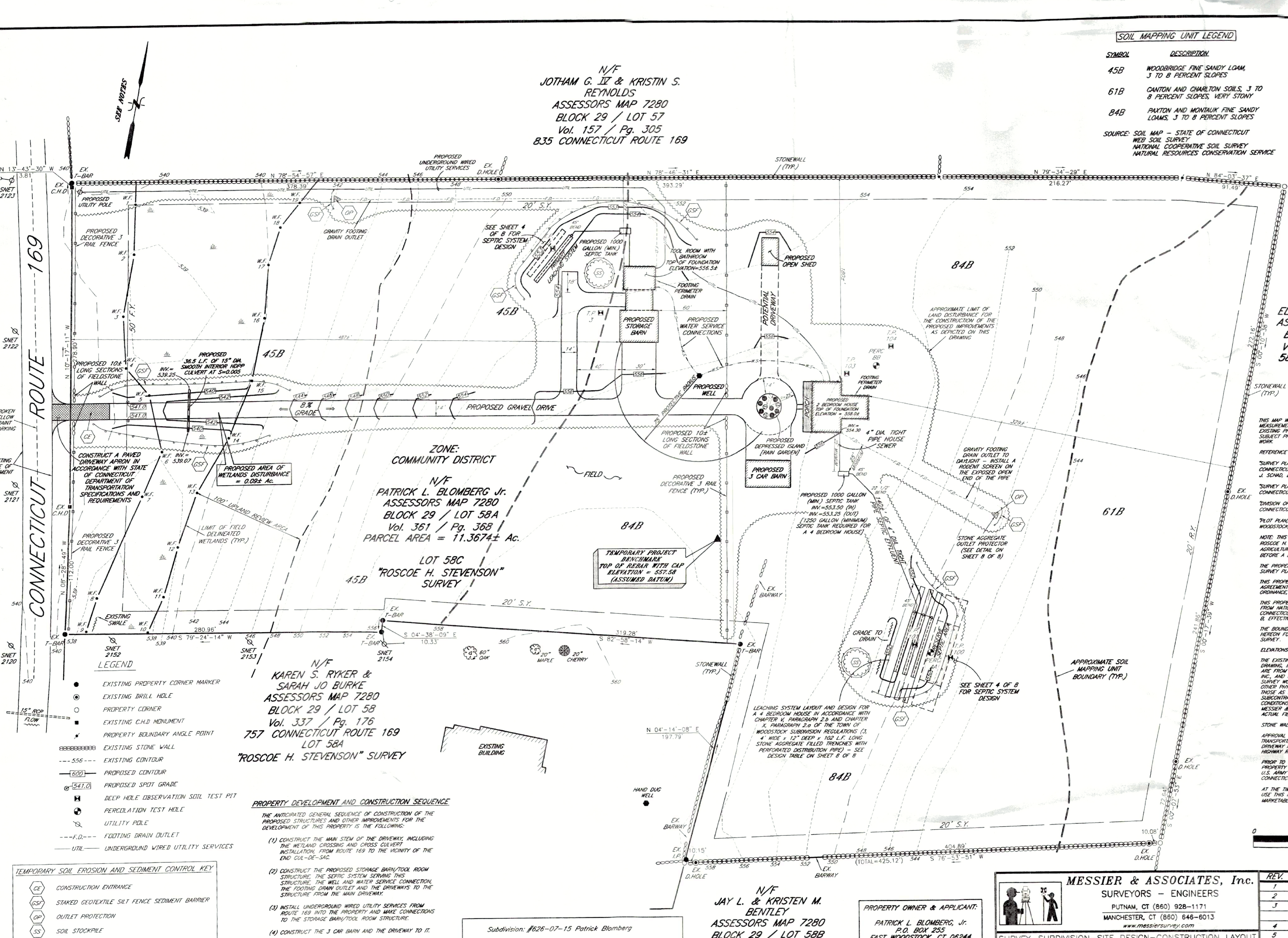
THE EXISTING CONTOURS AND OTHER EXISTING PHYSICAL SITE FEATURES DEPICTED ON THIS DRAWING, INCLUDING THE LOCATION OF THE FIELD DELINEATED INLAND WETLAND BOUNDARIES, ARE FROM AN ON-SITE FIELD TOPOGRAPHIC SURVEY PERFORMED BY MESSIER & ASSOCIATES, INC., AND REPRESENT THE CONDITIONS EXISTING ON THE SITE AT THE TIME SUCH FIELD SURVEY WORK WAS PERFORMED. THE ACTUAL GROUND SURFACE CONTOURS, ELEVATIONS AND OTHER PHYSICAL SITE FEATURES WHICH PRESENTLY EXIST ON THIS SITE MAY DIFFER FROM THOSE AS REPRESENTED BY THIS PLAN. THE DEVELOPER, SITE CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL EXISTING SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION ON THE PROPERTY AND SHALL NOTIFY MESSIER & ASSOCIATES, INC. OF ANY DISCREPANCIES OR INCONSISTENCIES CONCERNING THE ACTUAL FIELD CONDITIONS AS THEY MAY AFFECT THE DESIGN.

STONE WALLS MAY VARY FROM THE PRINCIPAL COURSES DEPICTED HEREON.

APPROVAL BY AND A PERMIT FROM THE STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION IS REQUIRED PRIOR TO STARTING CONSTRUCTION OF THE PROPOSED DRIVEWAY FOR THE SUBJECT PROPERTY OR PERFORMING ANY WORK WITHIN THE STATE HIGHWAY RIGHT-OF-WAY.

PRIOR TO COMMENCING ANY WORK WITHIN THE INLAND WETLANDS ON THIS PROPERTY, THE PROPERTY OWNER SHALL COMPLETE AND SUBMIT A CATEGORY 1 CERTIFICATION FORM TO THE U.S. ARMY CORPS OF ENGINEERS, NEW ENGLAND DISTRICT, CONCORD, MA, AND THE STATE OF CONNECTICUT DEPARTMENT OF ENERGY & ENVIRONMENTAL PROTECTION, HARTFORD.

AT THE TIME OF PREPARATION OF THIS PLAN, THE PROPERTY OWNER/APPLICANT INTENDS TO USE THIS PROPERTY FOR AGRICULTURAL PURPOSES SUCH AS THE PRODUCTION OF MARKETABLE COVER CROPS (E.G. HAY) IN ADDITION TO THE PROPOSED RESIDENTIAL USE.



LEGEND

- EXISTING PROPERTY CORNER MARKER
- EXISTING DRILL HOLE
- PROPERTY CORNER
- EXISTING C.H.D. MINUMENT
- PROPERTY BOUNDARY ANGLE POINT
- ▬ EXISTING STONE WALL
- 556--- EXISTING CONTOUR
- 600--- PROPOSED CONTOUR
- 541.0○ PROPOSED SPOT GRADE
- ⊕ DEEP HOLE OBSERVATION SOIL TEST PIT
- ⊕ PERCOLATION TEST HOLE
- UTILITY POLE
- F.O.--- FOOTING DRAIN OUTLET
- UTIL--- UNDERGROUND WIRED UTILITY SERVICES

TEMPORARY SOIL EROSION AND SEDIMENT CONTROL KEY

- CE CONSTRUCTION ENTRANCE
- CSF STAKED GEOTEXTILE SILT FENCE SEDIMENT BARRIER
- OSP OUTLET PROTECTION
- SS SOIL STOCKPILE

PROPERTY DEVELOPMENT AND CONSTRUCTION SEQUENCE

THE ANTICIPATED GENERAL SEQUENCE OF CONSTRUCTION OF THE PROPOSED STRUCTURES AND OTHER IMPROVEMENTS FOR THE DEVELOPMENT OF THIS PROPERTY IS THE FOLLOWING:

- (1) CONSTRUCT THE MAIN STEM OF THE DRIVEWAY, INCLUDING THE WETLAND CROSSING AND CROSS CULVERT INSTALLATION, FROM ROUTE 169 TO THE VICINITY OF THE END CUL-DE-SAC.
- (2) CONSTRUCT THE PROPOSED STORAGE BARN/TOOL ROOM STRUCTURE, THE SEPTIC SYSTEM SERVING THIS STRUCTURE, THE WELL AND WATER SERVICE CONNECTION, THE FOOTING DRAIN OUTLET AND THE DRIVEWAYS TO THE STRUCTURE FROM THE MAIN DRIVEWAY.
- (3) INSTALL UNDERGROUND WIRED UTILITY SERVICES FROM ROUTE 169 INTO THE PROPERTY AND MAKE CONNECTIONS TO THE STORAGE BARN/TOOL ROOM STRUCTURE.
- (4) CONSTRUCT THE 3 CAR BARN AND THE DRIVEWAY TO IT.
- (5) CONSTRUCT THE HOUSE, THE SEPTIC SYSTEM SERVING THE HOUSE, A WATER SERVICE CONNECTION FROM THE PREVIOUSLY INSTALLED WELL, THE FOOTING DRAIN OUTLET AND UNDERGROUND WIRED UTILITY SERVICE CONNECTIONS.
- (6) CONSTRUCT THE DRIVEWAY TERMINUS CUL-DE-SAC AND ISLAND.
- (7) CONSTRUCT THE OPEN SHED AND THE DRIVEWAY TO IT.

THE DEVELOPMENT OF THIS PROPERTY AS DESCRIBED ABOVE IS EXPECTED TO OCCUR OVER AN EXTENDED PERIOD OF TIME, UNTIL THE TOTAL DEVELOPMENT OF THE PROPERTY AS REPRESENTED ON THIS DRAWING IS ULTIMATELY COMPLETED. THE INITIAL WORK ON THE PROPERTY MAY COMMENCE IN LATE 2015 OR EARLY 2016, DEPENDING ON WEATHER AND OTHER FACTORS.

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 28, 1996, AND CONFORMS TO HORIZONTAL ACCURACY CLASS C AND TOPOGRAPHIC ACCURACY CLASS 1-2.

SURVEY TYPE: IMPROVEMENT LOCATION SURVEY - PROPOSED
 BOUNDARY DETERMINATION CATEGORY: NONE

Patrick L. Blomberg
 SURVEYORS SIGNATURE 08/12 DATE 12036 LICENSE NUMBER

Subdivision: #626-07-15 Patrick Blomberg
 Approval date: 7/16/15, requires a fee in-lieu of open space

PZC Chairman/Secretary _____ Date _____

Special Note: This application #626-07-15 was previously approved by the Woodstock Planning and Zoning Commission on June 20, 2015 as #12-05-13 and due to mylors not being filed was submitted and approved again as a separate new application by the Planning and Zoning Commission on July 15, 2015.

N/F
 JAY L. & KRISTEN M.
 BENTLEY
 ASSESSORS MAP 7280
 BLOCK 29 / LOT 58B
 Vol. 479 / Pg. 431

LOT 58B
 "ROSCOE H. STEVENSON"
 SURVEY

PROPERTY OWNER & APPLICANT:
 PATRICK L. BLOMBERG, Jr.
 P.O. BOX 255
 EAST WOODSTOCK, CT 06244

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SURVEY-SUBDIVISION-SITE DESIGN-CONSTRUCTION LAYOUT

GENERAL LOCATION PLAN

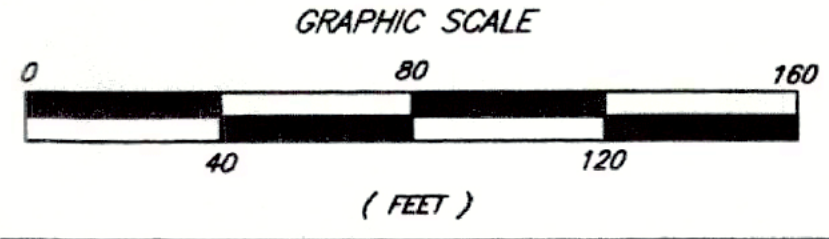
PREPARED FOR:
PATRICK L. BLOMBERG, Jr.
 LOT 58C
 CONNECTICUT ROUTE 169
 WOODSTOCK, CONNECTICUT

REV.	DATE	DESCRIPTION
1	09-26-12	PER IAWA & NDDH REVIEW
2	02-04-13	ADD DISTURBANCE LIMIT & CHANGE ABUTTER
3	05-10-13	ADD 4 BEDROOM DESIGN FOR HOUSE SEPTIC SYSTEM
4	05-15-13	ADDED RAIN GARDEN
5	09-21-15	PER REAPPRAVAL

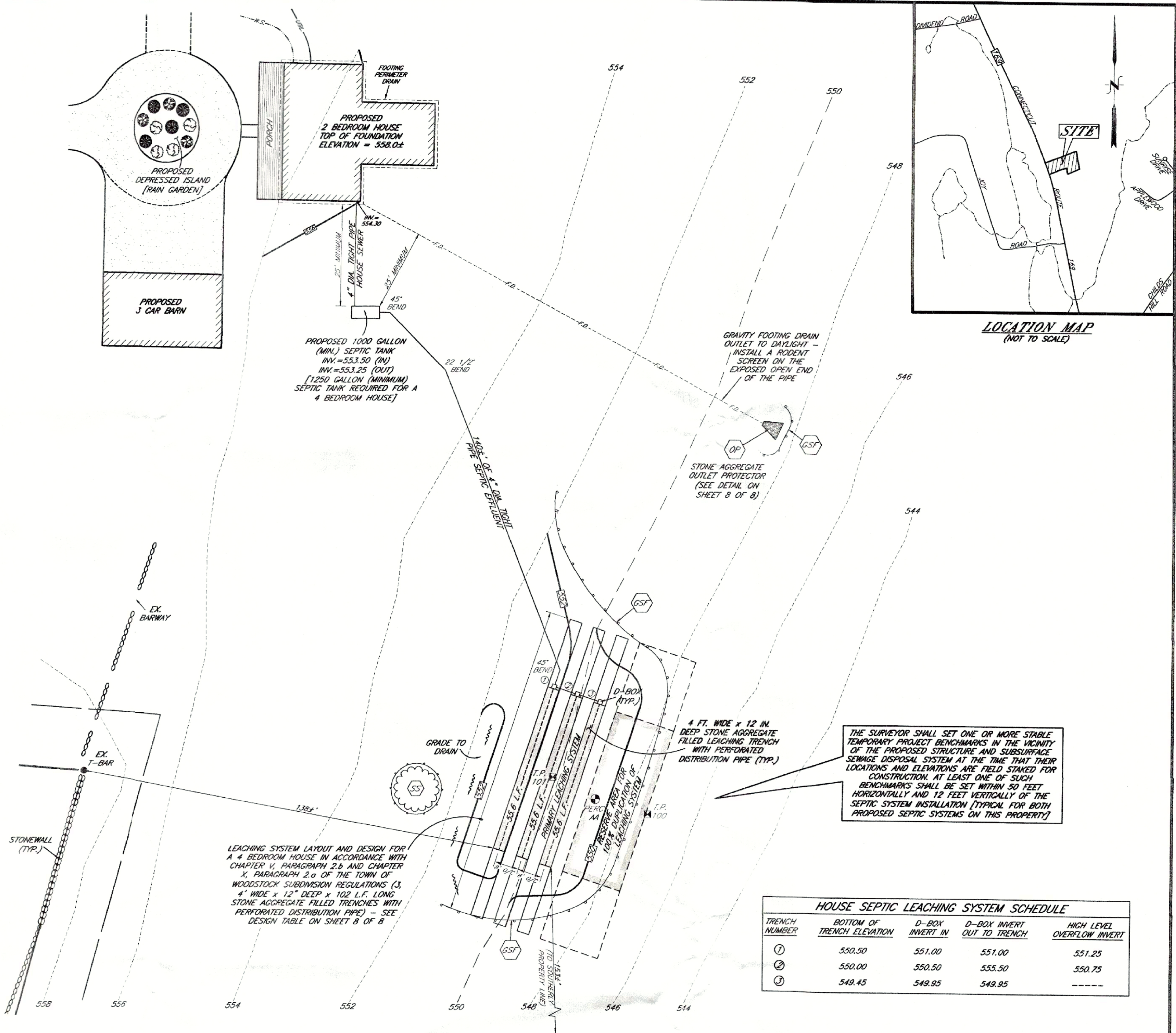
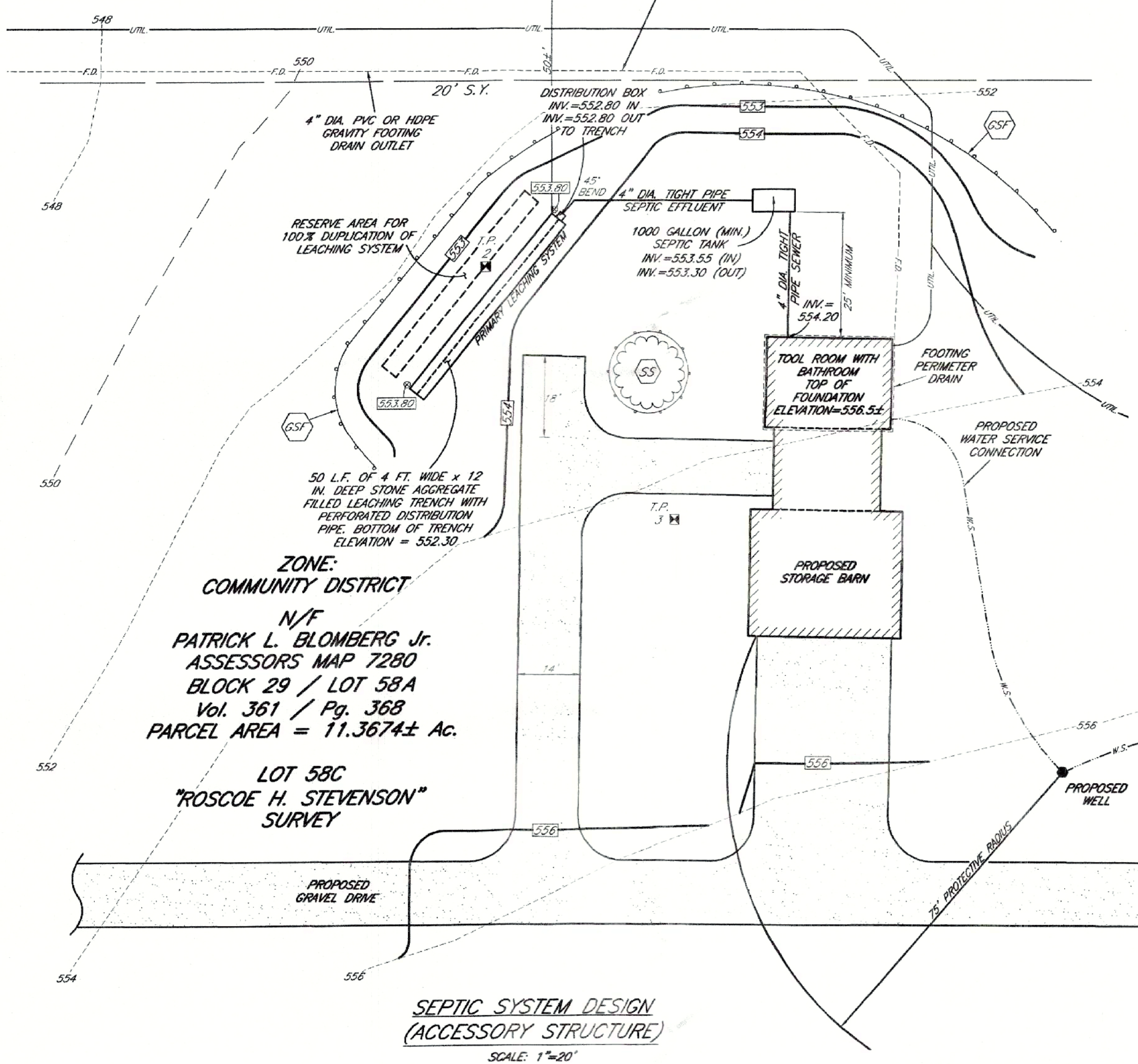
(COMP. FILE #11-034-SHT 1.DWG)

DATE:	08/12
SCALE:	1"=40 FT.
DESIGN:	RFV
DRAWN:	DAS
CHECK:	RRM/RFV
SHEET:	3 OF 8
PROJECT No.:	02-179
PLAN No.:	11-034

ROBERT R. MESSIER L.S. #12056
 RAYMOND F. NELSON, Jr. P.E. #09434



NOTE: THE FOOTING DRAIN SHALL BE "TIGHT PIPING" IN ACCORDANCE WITH THE CONNECTICUT PUBLIC HEALTH CODE TECHNICAL STANDARDS WHERE INSTALLED WITHIN 25 FT. UPHILL OR 50 FT. DOWNHILL OF THE SEPTIC TANK OR LEACHING SYSTEM



TEMPORARY SOIL EROSION AND SEDIMENT CONTROL KEY

	CONSTRUCTION ENTRANCE
	STAKED GEOTEXTILE SILT FENCE SEDIMENT BARRIER
	OUTLET PROTECTION
	SOIL STOCKPILE

LEGEND

	EXISTING PROPERTY CORNER MARKER
	EXISTING DRILL HOLE
	EXISTING STONE WALL
	EXISTING CONTOUR
	PROPOSED CONTOUR
	PROPOSED SPOT GRADE
	DEEP HOLE OBSERVATION SOIL TEST PIT
	PERCOLATION TEST HOLE
	FOOTING DRAIN OUTLET
	UNDERGROUND WIRED UTILITY SERVICES
	WATER SERVICE

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS MAP HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 28, 1990, AND CONFORMS TO HORIZONTAL ACCURACY CLASS C AND TOPOGRAPHIC ACCURACY CLASS T-2.

SURVEY TYPE: IMPROVEMENT LOCATION SURVEY - PROPOSED
BOUNDARY DETERMINATION CATEGORY: NONE

Patrick L. Blomberg, Jr. 08/12
SURVEYOR SIGNATURE DATE

18209
LICENSE NUMBER

PROPERTY OWNER & APPLICANT:
PATRICK L. BLOMBERG, Jr.
P.O. BOX 255
EAST WOODSTOCK, CT 06244

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MANCHESTER, CT (860) 646-6013
www.messiersurvey.com

REV.	DATE	DESCRIPTION
1	09-26-12	PER INWA & NDDH REVIEW
2	05-10-13	ADD 4 BEDROOM DESIGN FOR HOUSE
3	05-15-13	SEPTIC SYSTEM
4	09-21-15	PER REAPPROVAL

SURVEY-SUBDIVISION-SITE DESIGN-CONSTRUCTION LAYOUT
IMPROVEMENT LOCATION PLAN
(COMP. FILE = 11-034-SHT 2.DWG)

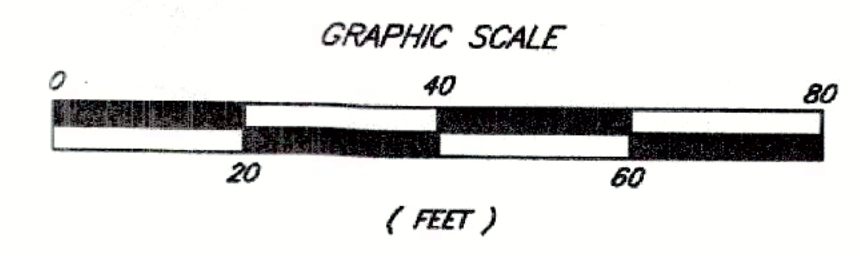
PREPARED FOR:
PATRICK L. BLOMBERG, Jr.
LOT 58C
CONNECTICUT ROUTE 169
WOODSTOCK, CONNECTICUT

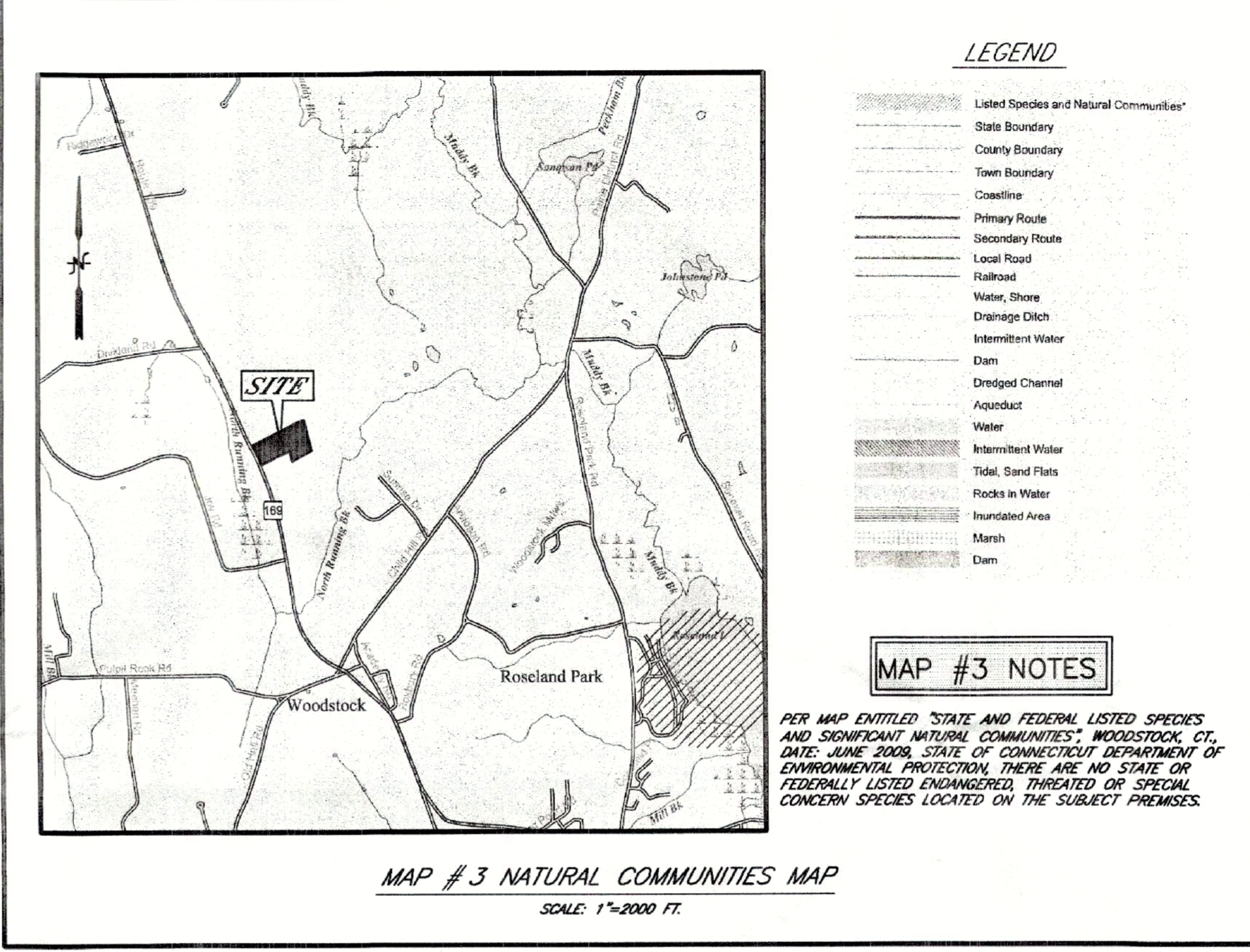
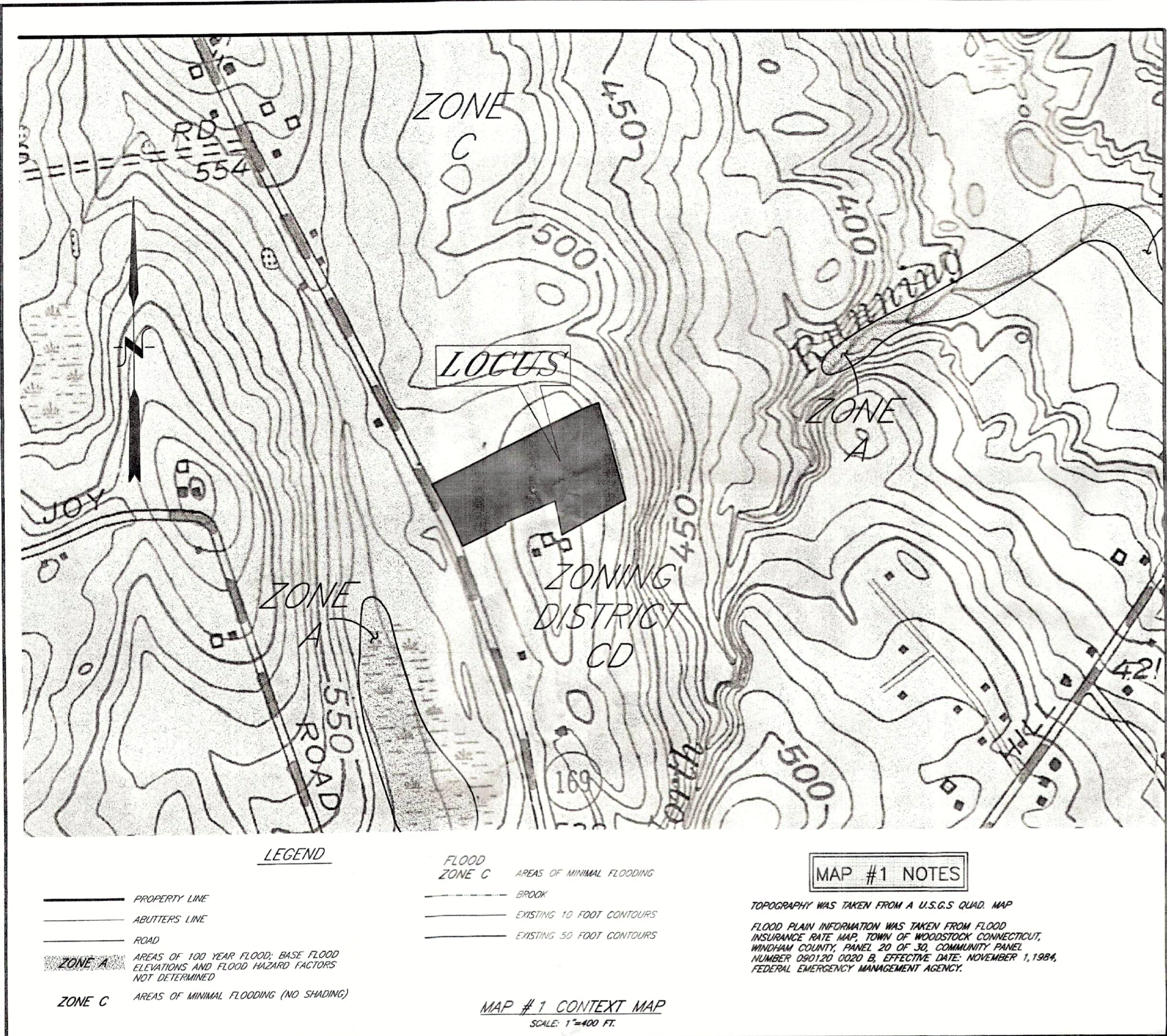
ROBERT R. MESSIER
L.S. #12056

RAYMOND F. NELSON, Jr.
P.E. #20434

DATE: 08/12
SCALE: AS NOTED
DESIGN: RFB
DRAWN: DAS
CHECK: RRM/RFB
SHEET 4 OF 8

PROJECT No. 02-179
PLAN No. 11-034



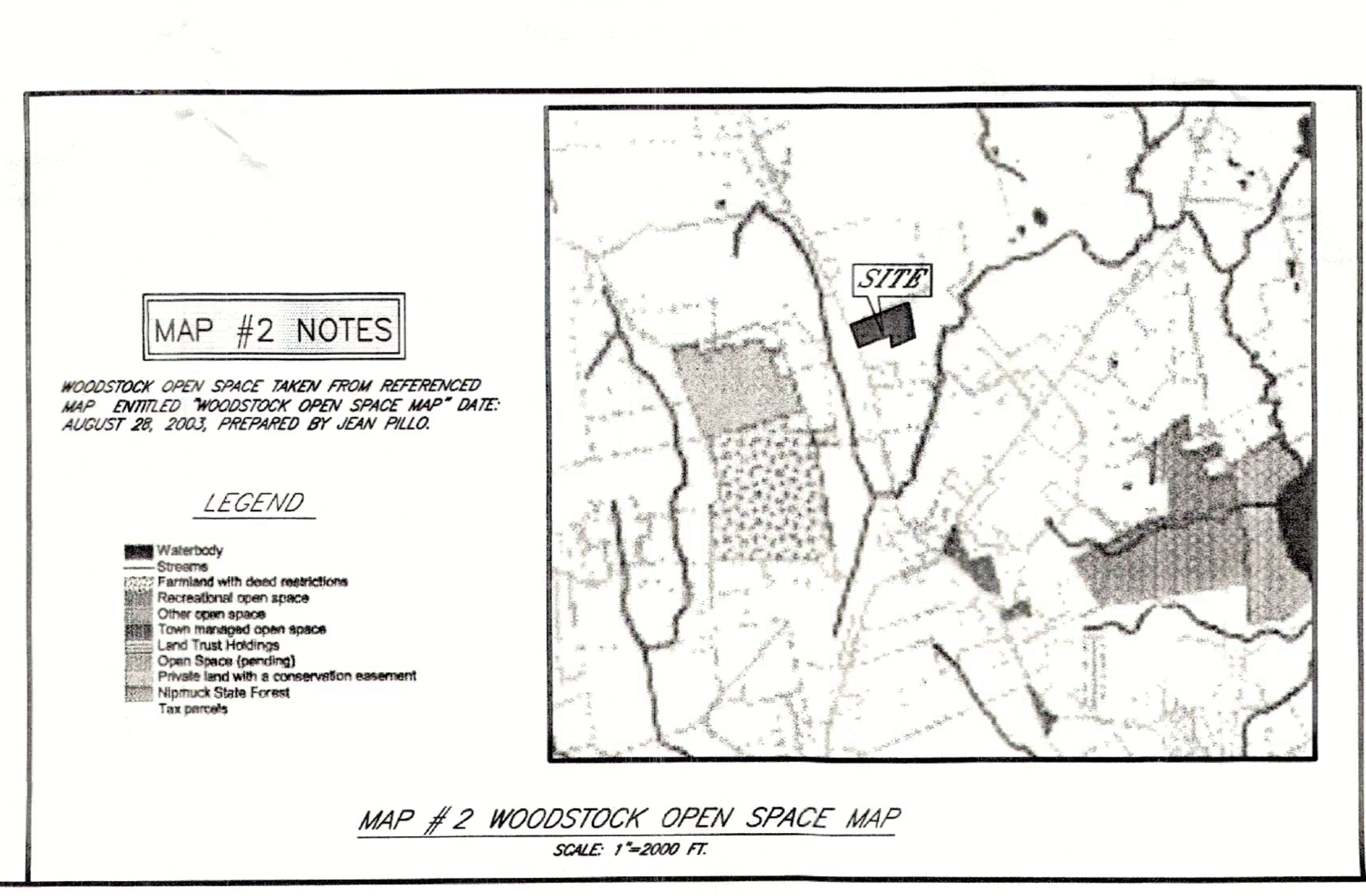


Subdivision: #626-07-15 Patrick Blomberg
Approval date: 7/16/15, requires a fee in-lieu of open space

PZC Chairman/Secretary _____ Date _____

Special Note: This application #626-07-15 was previously approved by the Woodstock Planning and Zoning Commission on June 20, 2013 as #612-05-13 and due to typos not being fixed was submitted and approved again as a separate new application by the Planning and Zoning Commission on July 16, 2015.

WOODSTOCK LAND RECORDS
RECEIVED FOR RECORDING:
TOWN CLERK _____ DATE _____ TIME _____ MAP No. _____
TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS MAP FOR SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-308B-1 THROUGH 20-308B-20 AND THE STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996, AND CONFORMS TO HORIZONTAL ACCURACY CLASS 0.
SURVEY TYPE: COMPILATION PLAN
BOUNDARY DETERMINATION CATEGORY: NONE
<i>Robert R. Messier</i> 03/13 12056
SURVEYORS SIGNATURE DATE LICENSE NUMBER



PROPERTY OWNER & APPLICANT:
PATRICK L. BLOMBERG, Jr.
P.O. BOX 255
EAST WOODSTOCK, CT 06244

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LEGEND

- PROPERTY LINE
- ABUTTERS LINE
- ROAD
- EXISTING 2 FOOT CONTOURS
- EXISTING 10 FOOT CONTOURS
- SOIL UNIT BOUNDARY
- SOIL MAPPING UNIT

SOIL CLASSIFICATION TABLE

SYMBOL	DESCRIPTION
45B	WOODBIDGE FINE SANDY LOAM, 3 TO 8 PERCENT SLOPES
61B	CANTON AND CHARLTON SOILS, 3 TO 8 PERCENT SLOPES, VERY STONY
84B	PAYTON AND MONTAUK FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES

SOURCE: SOIL MAP - STATE OF CONNECTICUT
WEB SOIL SURVEY
NATIONAL COOPERATIVE SOIL SURVEY
NATURAL RESOURCES CONSERVATION SERVICE

MAP #4 TOPOGRAPHY, SOILS
SCALE: 1"=200 FT.

REV.	DATE	DESCRIPTION
1	09-21-15	PER REAPPROVAL

SURVEY-SUBDIVISION-SITE DESIGN-CONSTRUCTION LAYOUT
SITE RESOURCE ASSESSMENT MAP
(COMP. FILE = 11-034-RESOURCE.DWG)

PREPARED FOR:
PATRICK L. BLOMBERG, Jr.
LOT 58C
CONNECTICUT ROUTE 169
WOODSTOCK, CONNECTICUT

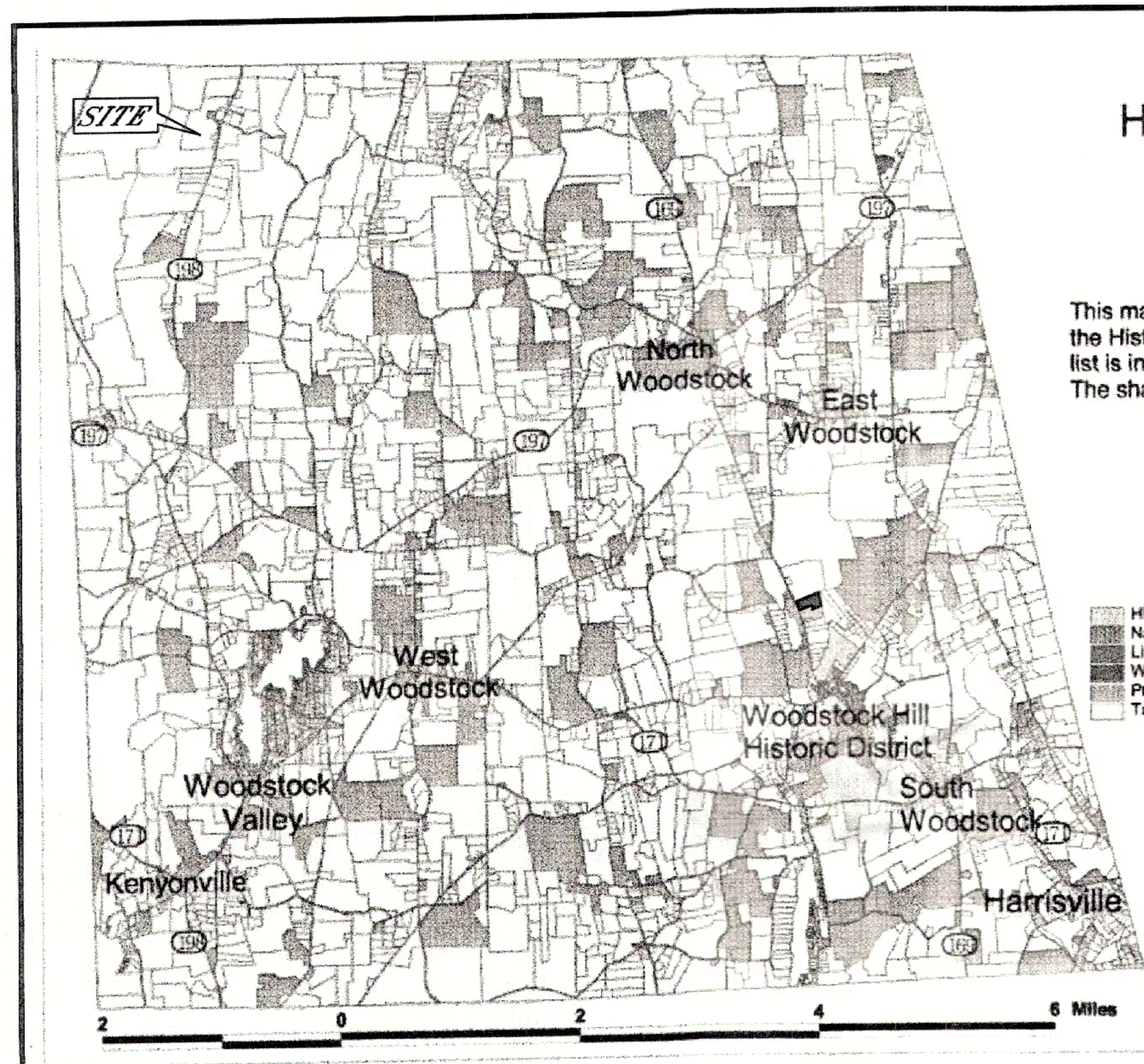
ROBERT R. MESSIER
L.S. #12056

DATE: 03/13
SCALE: AS NOTED
DESIGN: RRM
DRAWN: DAS
CHECK: RRM
SHEET 5 OF 8
PROJECT No. 02-179
PLAN No. 11-034

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Woodstock Historic Properties Map 2

This map is based on a list provided by the Historic Properties Commission. That list is in the process of being reviewed. The shape of the Historic District is approximate.

Legend

- Historic District
- National Registry and in Historic District Listed on National Registry
- Woodstock Historic Property
- Property featured on 1983 map
- Tax parcels

Date: August 9, 2002
Prepared by: Jean Pilo

Disclaimer: These maps are intended for planning purposes only, and contain no authoritative positional information. Maps being prepared by the Town of Woodstock Conservation Commission are still in the process of being validated. If you have corrections, please contact Jean Pilo or Red Zimmerman.



Woodstock Land Cover Map 7

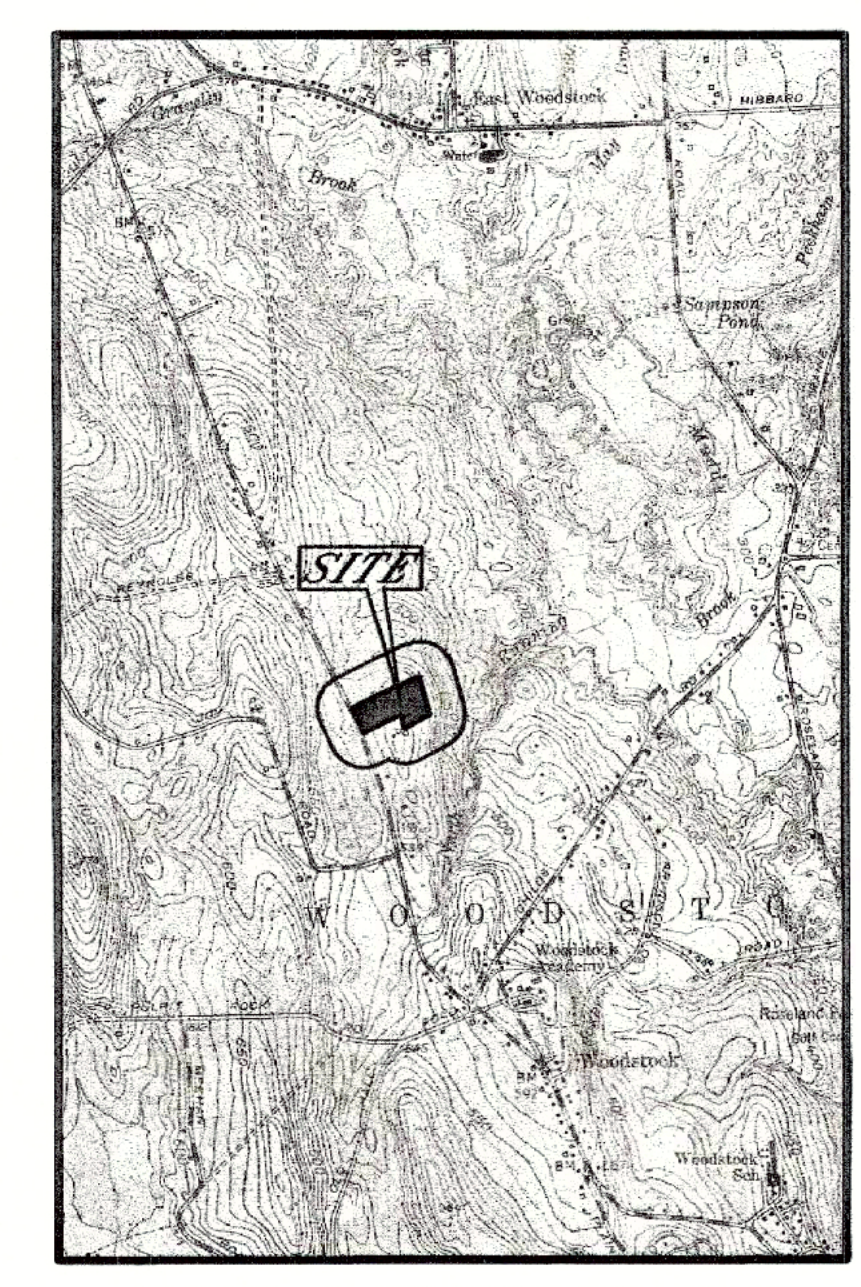
This data layer is based on LANDSAT Thematic Mapper Satellite Imagery for 1994 and 1995 and SPOT Panchromatic Satellite Imagery from 1994-96. The data resolution is 30 X 30 meters.

Legend

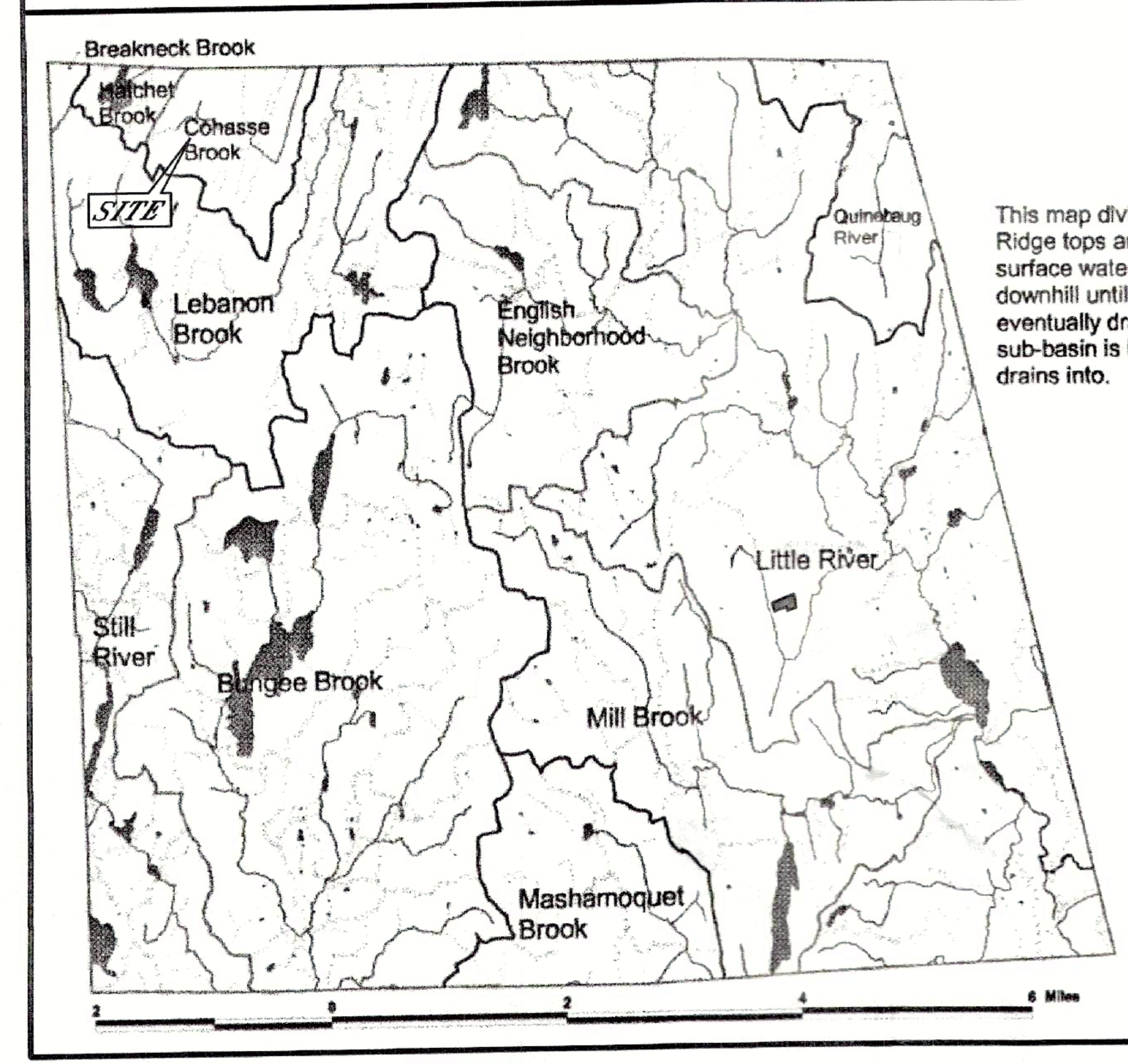
- Roads
- Active Wetland/Imp
- Wetland border
- Land Use (1997 data)
- Corn & Soybean
- Coniferous Forest
- Coniferous Forest/Wetland
- Decid & Dying Hardwood
- Deciduous Forest
- Deciduous Forest & M. Laurel
- Deciduous Forest/Wetland
- Deciduous Shrub/Wetland
- Deep Water
- Exposed Ground & Sand
- Exposed Soil
- Exposed Soil/Cropland
- Forest / Clear Cut
- Forest
- Non-Terrestrial Wetland
- Nursery Stock
- Pasture & Hay & Grass
- Pasture & Hay / Cropland
- Pasture & Hay / Exposed Soil
- Residential & Commercial
- Scrub & Shrub
- Shrub/Water & Mud Flats
- Turf & Grass
- Turf & Tree Complex

Date: August 15, 2002
Prepared by: Jean Pilo

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PARCEL & TOPOGRAPHY MAP



Woodstock Drainage Basins Map 12

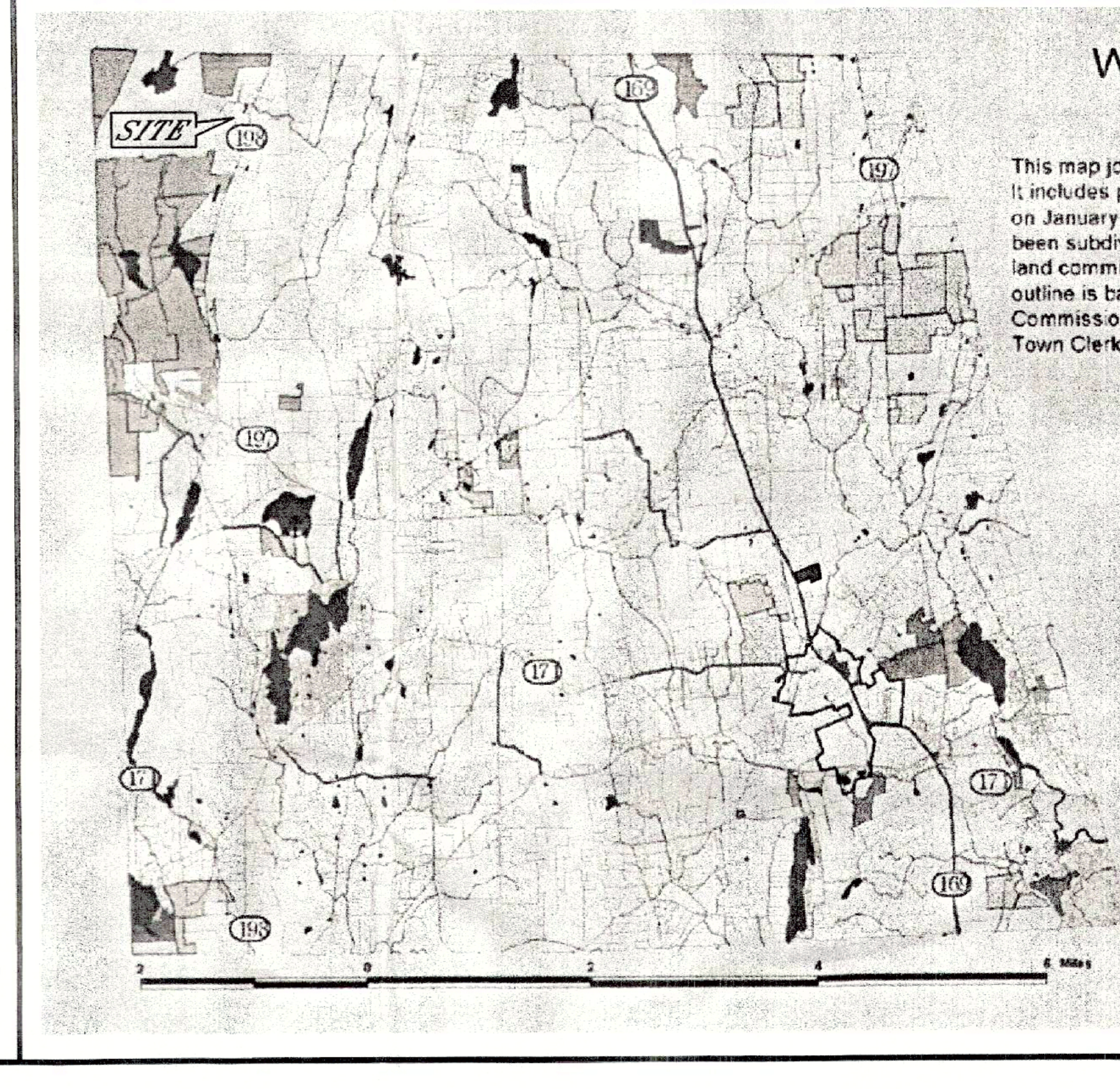
This map divides the entire town into drainage areas. Ridge tops and other high elevation areas from which surface water flow define drainage basins which flow downhill until they encounter a watercourse that eventually drains to the lowest point in the basin. Each sub-basin is labeled according to the waterbody it drains into.

Legend

- Waterbody
- Perennial Stream
- Intermittent stream
- Public Waters, apply Watershed Drainage Areas
- Sub basins
- Individual basin outlines
- Woodstock border

Date: August 16, 2002
Prepared by: Jean Pilo

Disclaimer: These maps are intended for planning purposes only, and contain no authoritative positional information. Maps being prepared by the Town of Woodstock Conservation Commission are still in the process of being validated. If you have corrections, please contact Jean Pilo or Red Zimmerman.



Woodstock Cultural Composite Map

This map joins cultural information about Woodstock. It includes property lines based on Tax Assessor's data on January 17, 2001. Certain parcels that have since been subdivided have been redrawn to highlight new land committed into open space. The Historic District outline is based on information from the Historic District Commission. Scenic Road information is on file in the Town Clerk's Office.

Legend

- Town Scenic Road
- National Scenic Byway
- Historic District Outline
- Waterbody
- Streams
- Farmland with deed restrictions
- Recreational open space
- Other open space
- Town managed open space
- Land Trust Holdings
- Open Space (pending)
- Private land with a conservation easement
- Nipmuck State Forest
- Tax parcels
- Public Boat Launch
- Public Drinking Water Surface Intake

Date: November 24, 2003
Prepared by: Jean Pilo

Disclaimer: These maps are intended for planning purposes only, and contain no authoritative positional information. Maps being prepared by the Town of Woodstock Conservation Commission are still in the process of being validated. If you have corrections, please contact Jean Pilo or Red Zimmerman.

PROPERTY OWNER & APPLICANT:

PATRICK L. BLOMBERG, Jr.
P.O. BOX 255
EAST WOODSTOCK, CT 06244

WOODSTOCK LAND RECORDS

RECEIVED FOR RECORDING:

TOWN CLERK _____ DATE _____ TIME _____ MAP No. _____

TO THE BEST OF MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS MAP (OR SURVEY) HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-302b-1 THROUGH 20-302b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996, AND CONFORMS TO HORIZONTAL ACCURACY CLASS 2.

SURVEY TYPE: COMPILATION PLAN
BOUNDARY DETERMINATION CATEGORY: NONE

[Signature] 03/13 12056
SURVEYOR'S SIGNATURE DATE LICENSE NUMBER

Subdivision: #626-07-15 Patrick Blomberg
Approval date: 7/16/15, requires a fee in-lieu of open space

PZC Chairman/Secretary _____ Date _____

Special Note: This application #626-07-15 was previously approved by the Woodstock Planning and Zoning Commission on June 20, 2013 as #612-05-13 and due to mylars not being filed was submitted and approved again as a separate new application by the Planning and Zoning Commission on July 16, 2015.

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SURVEY-SUBDIVISION-SITE DESIGN-CONSTRUCTION LAYOUT

SITE RESOURCE ASSESSMENT MAP

REV.	DATE	DESCRIPTION
1	09-21-15	PER REAPPROVAL

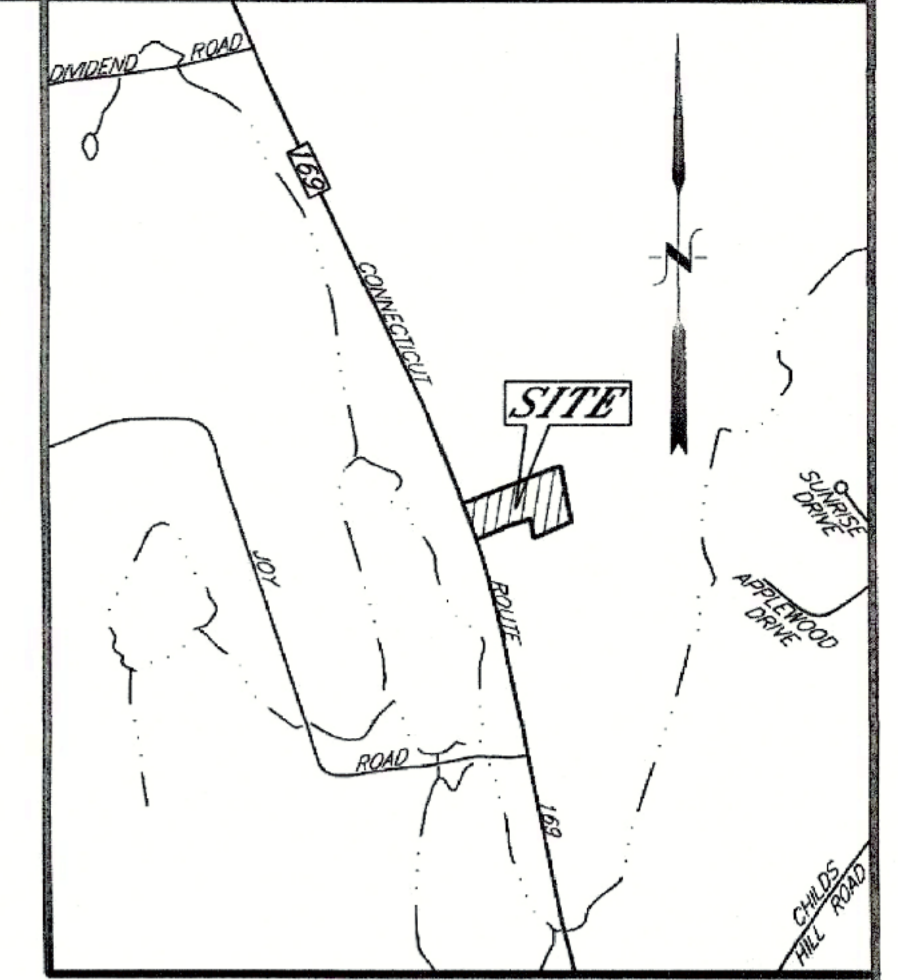
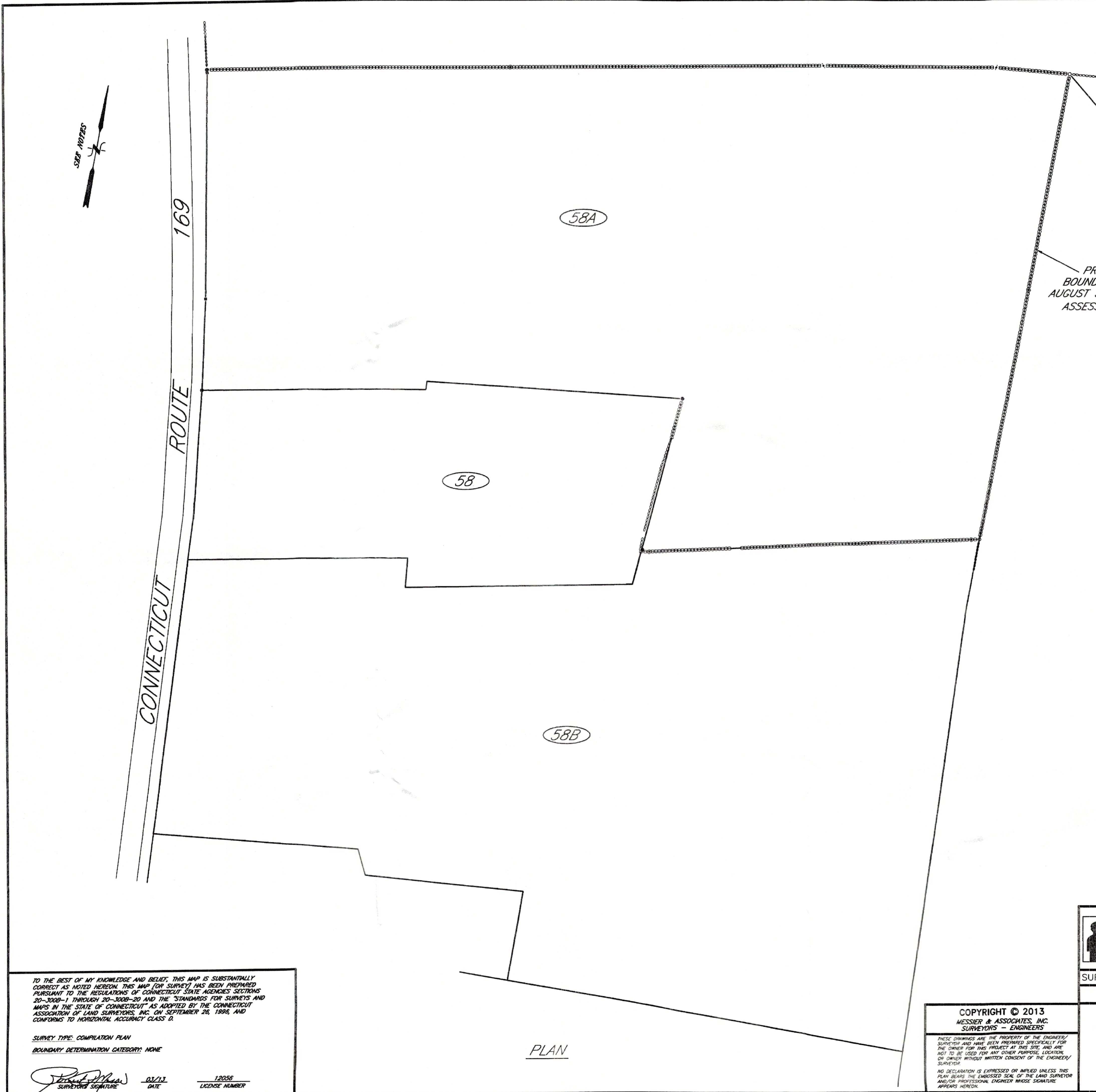
(COMP. FILE #11-034-RESOURCE.DWG)

PREPARED FOR:
PATRICK L. BLOMBERG, Jr.
LOT 58C
CONNECTICUT ROUTE 169
WOODSTOCK, CONNECTICUT

ROBERT R. MESSIER
L.S. #12056

DATE: 03/13
SCALE: AS NOTED
DESIGN: RRM
DRAWN: DAS
CHECK: RRM
SHEET 6 OF 8

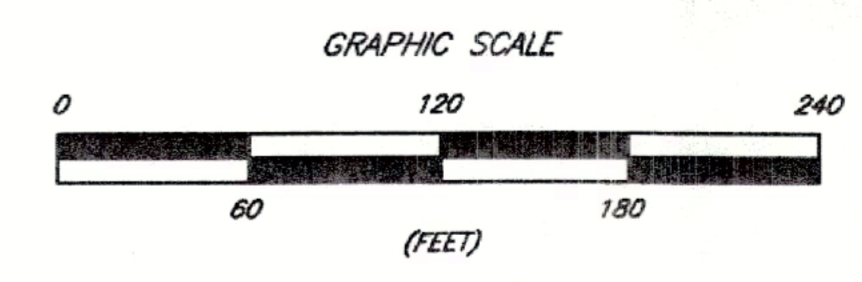
PROJECT No. 02-179
PLAN No. 11-034



PROPERTY BOUNDARY AS OF AUGUST 31, 1965 FROM ASSESSOR'S MAPS

HISTORICAL DATA

PARCEL ENTIRE PIECE	GRANTOR	GRANTEE	DATE	Vol	Pg	INSTRUMENT
58	ANNIE L. HOWARD	ROSCOE H. STEVENSON & VIRGINIA H. STEVENSON	10/01/1938	46	340	WARRANTY DEED
	ESTATE OF VIRGINIA STEVENSON	ROSCOE H. STEVENSON	9/08/1938	124	178	PROBATE CERTIFICATE FOR JOINTLY OWNED REAL PROPERTY
58	ROSCOE H. STEVENSON	MARY LOU ROGERS	5/25/1988	180	398	WARRANTY DEED
	MARY LOU ROGERS	KAREN S. RYKER & SARAH JO BURKE	12/19/2001	337	176	WARRANTY DEED
58A	ROSCOE H. STEVENSON	GERALD STEVENSON	9/18/1991	214	39	WARRANTY DEED
	GERALD STEVENSON	PATRICK L. BLOMBERG, Jr.	12/19/2002	361	368	WARRANTY DEED
58B	ROSCOE H. STEVENSON	ROSCOE CHAPIN STEVENSON	9/18/1991	214	41	WARRANTY DEED
	ROSCOE CHAPIN STEVENSON	ROSCOE CHAPIN STEVENSON & ALFREDA WAGNELL STEVENSON	7/30/1993	236	439	QUIT CLAIM
58B	ROSCOE CHAPIN STEVENSON & ALFREDA WAGNELL STEVENSON	DAVID L. HOLKE	11/27/2000	317	94	WARRANTY DEED
	DAVID L. HOLKE	JAY L. BENTLEY & KRISTEN M. BENTLEY	8/16/2007	479	431	WARRANTY DEED



PROPERTY OWNER & APPLICANT:
 PATRICK L. BLOMBERG, Jr.
 P.O. BOX 255
 EAST WOODSTOCK, CT 06244

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SURVEY TYPE: COMPILATION PLAN
 BOUNDARY DETERMINATION CATEGORY: NONE
 SURVEYOR'S SIGNATURE: [Signature]
 DATE: 03/13
 LICENSE NUMBER: 12056

PLAN

MESSIER & ASSOCIATES, Inc.
 SURVEYORS - ENGINEERS
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 MANCHESTER, CT (860) 646-6013
 www.messiersurvey.com

REV.	DATE	DESCRIPTION
1	09-21-15	PER REAPPROVAL

PROPERTY HISTORY
 (COMP. FILE = 11-034-PROP HIST.DWG)

DATE: 03/13
 SCALE: 1"=60 FT.
 DESIGN: FRM
 DRAWN: DAS
 CHECK: FRM
 SHEET 7 OF 8
 PROJECT No. 02-179
 PLAN No. 11-034

PREPARED FOR:
PATRICK L. BLOMBERG, Jr.
 LOT 58C
 CONNECTICUT ROUTE 169
 WOODSTOCK, CONNECTICUT

ROBERT R. MESSIER
 L.S. #12056

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