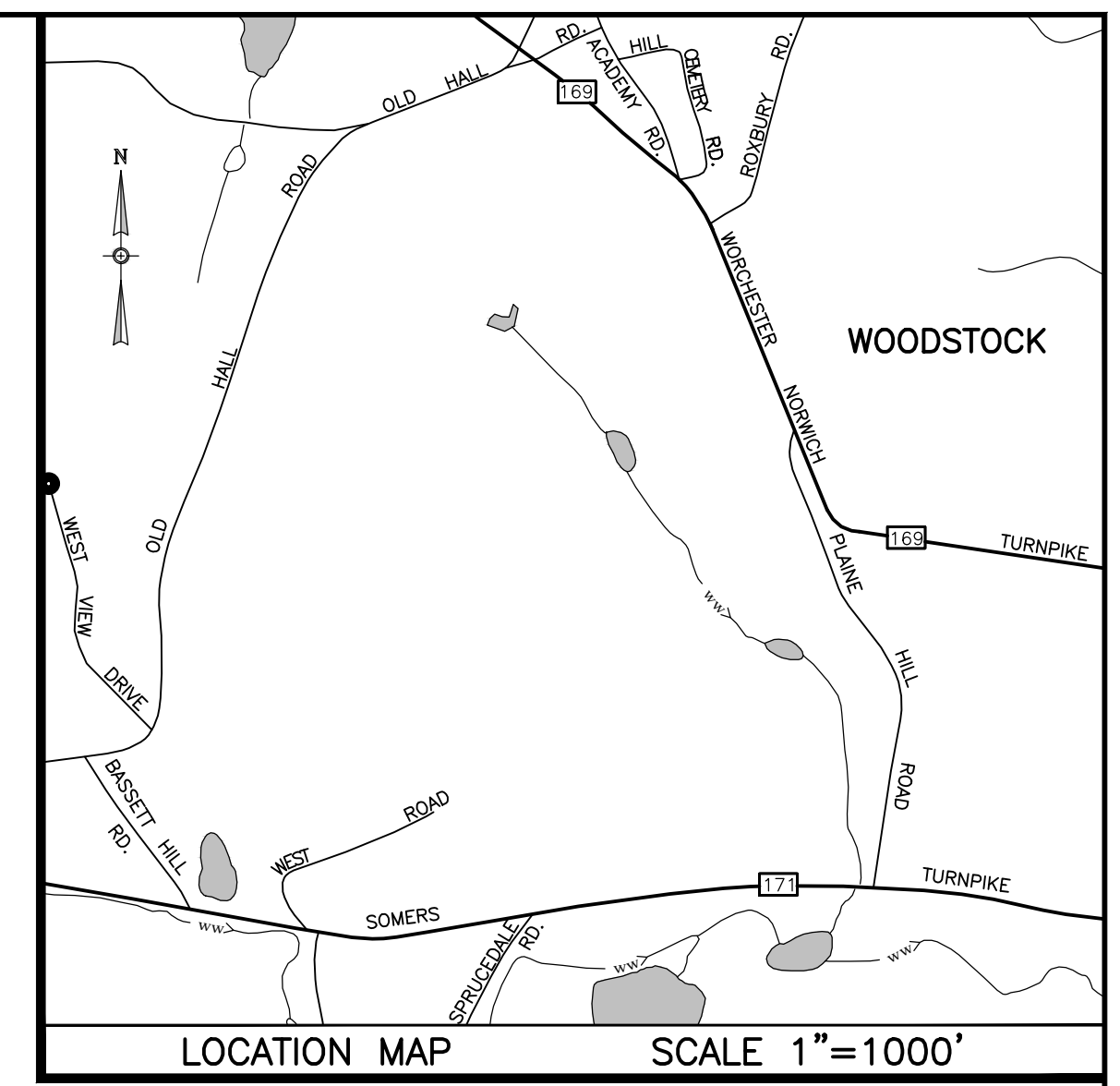


RE-SUBDIVISION PLAN
 PREPARED FOR:
**WOODSTOCK INN
 ASSOCIATES LP**



MAP REFERENCES

- "SUBDIVISION OF LAND OWNED BY ESTATE OF DOROTHEA S.K. RICHARDSON, PLAIN HILL ROAD & ROUTE 169, WOODSTOCK, CONNECTICUT", SCALE: 1"=60', DATE: MARCH 4, 1986, BY ALBERT L. FITZBACK, L.L.S. ON FILE AS MAP NO. 866
- "PLAN OF LAND OWNED BY ESTATE OF DOROTHEA S.K. RICHARDSON, CONN. ROUTE 171 AND PLAIN HILL ROAD, WOODSTOCK, CONNECTICUT," SCALE: 1"=100', DATE: OCTOBER 18, 1989, BY ALBERT L. FITZBACK, L.L.S. ON FILE AS MAP NO. 1227

NOTES

- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996 AND AS AMENDED ON OCTOBER 26, 2018.
- THE TYPE OF SURVEY PERFORMED IS A BOUNDARY SURVEY CONFORMING TO THE STANDARDS OF ACCURACY FOR A HORIZONTAL CLASS A-2 AND VERTICAL CLASS T-2 AND IS A RESUBJECT PROPERTY.
- THIS SURVEY WAS PREPARED TO DEPICT THE EXISTING CONDITIONS OF THE SUBJECT PROPERTY.
- THE SUBJECT PARCEL WAS CONVEYED TO WOODSTOCK INN ASSOCIATION LP, THROUGH A CONVEYANCE DATED ON 4/14/1986, AND IS RECORDED IN VOLUME 149, PAGE 134 OF THE WOODSTOCK LAND RECORDS.
 - THE SUBJECT PROPERTY IS SHOWN ON THE WOODSTOCK TAX ASSESSOR MAP No. 5781 AS LOT 48 OF BLOCK 50 AND HAS BEEN ASSIGNED ADDRESS OF 94 PLAIN HILL ROAD, WOODSTOCK, CONNECTICUT.
 - ELEVATIONS ARE BASED ON VERTICAL DATUM NAVD83.
 - NORTH IS BASED ON CONNECTICUT STATE PLANE COORDINATE, NAD83 OBTAINED BY GPS OBSERVATIONS AT THE TIME OF THE SURVEY.
 - TOTAL AREA OF PROPERTY = 14.34± ACRES (624,480± SQUARE FEET).
 - SITE IS LOCATED IN ZONE COMMUNITY DISTRICT, FRONT YARD SETBACK=75' SIDE AND REAR YARD SETBACK=20'.
 - ON-SITE WETLAND RESOURCES WERE DELINEATED IN THE FIELD ON 09/23/2022 BY STEVEN RIBERDY OF GODDARD CONSULTING.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CME ASSOCIATES, INC. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER OR TO BE IN ANY WAY TO BE IN THE POSSESSION OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERNING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

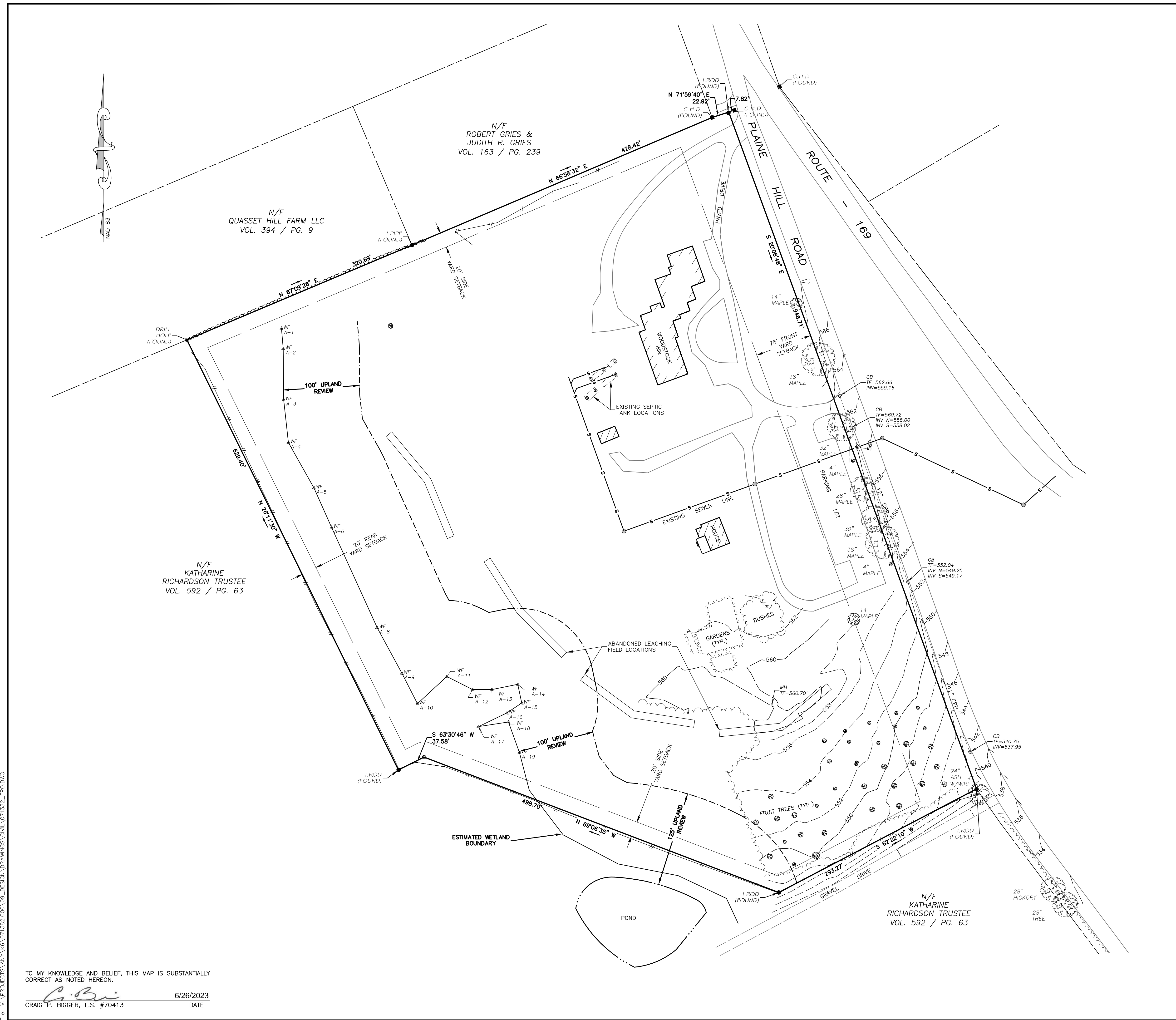
PROJECT LOCATION:
 94 PLAIN HILL ROAD
 WOODSTOCK, CT 06268

No.	Submitted / Revision	App'd	By	Date

EXISTING CONDITIONS

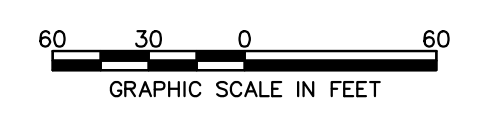
Designed By: PMP	Drawn By: RAC/PMP	Checked By: CPB
Issue Date: 06/26/2023	Project No: 071382	Scale: 1" = 60'

Drawing No.:
SHEET 1



LEGEND

PROPERTY LINE	—————
ABUTTERS LINE	—————
EDGE OF PAVEMENT	—————
EDGE OF GRAVEL	—————
EXISTING CONTOUR	—————
STONE WALL	—————
RETAINING WALL	—————
LIMITS OF INLAND WETLANDS	—————
FENCE	—————
TREE LINE	—————
NOW OR FORMERLY UTILITY POLE	●
BOUNDARY POINT	●
DRILL HOLE	●
IRON MONUMENT	●
CONNECTICUT HIGHWAY DEPARTMENT MONUMENT(CHD)	■



SUBDIVISION APPROVAL

APPLICATION: # _____

APPROVED ON: _____

CHAIRMAN OR SECRETARY SIGNATURE _____ DATE _____

File: V:\PROJECTS\LAN\061071382\000\09_DESIGN\DRAWINGS\CIVIL\071382_1P01.DWG

RE-SUBDIVISION PLAN
 PREPARED FOR:
 WOODSTOCK INN
 ASSOCIATES LP

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PROJECT LOCATION:
 94 PLAIN HILL ROAD
 WOODSTOCK, CT 06268

SUBDIVISION PLAN

Designed By:	Drawn By:	Checked By:
PMP	RAC/PMP	CPB
Issue Date:	Project No.:	Scale:
06/26/2023	071382	1" = 60'

Drawing No.:
 SHEET 2

DIMENSIONAL REQUIREMENTS		
COMMUNITY DISTRICT		
SINGLE FAMILY RESIDENTIAL RE-SUBDIVISION		
ZONING CRITERIA	REQUIRED	PROVIDED
MINIMUM LOT AREA	0.75 ACRES	±1.39 ACRES (LOT 4B-2)
LOT FRONTAGE	100'	±132' (LOT 4B-2)
FRONT YARD SETBACK	50' (SUBDIVISION) 60' (NON-RESIDENTIAL)	±75' (LOT 4B-1)
SIDE YARD SETBACK	20'	±28' (LOT 4B-1)
REAR YARD SETBACK	20'	±88' (LOT 4B-2)
OPEN SPACE	25% (3.59 ACRES)	3.94 ACRES
BUILDING HEIGHT	35'	<35'
CURB CUTS	1 CURB CUT PER 200' OF FRONTAGE 946.71' EXISTING FRONTAGE ON PLAINE HILL ROAD, THEREFORE 4 CURB CUTS ARE ALLOWED	4 TOTAL CURB CUTS 2 EXISTING & 2 PROPOSED

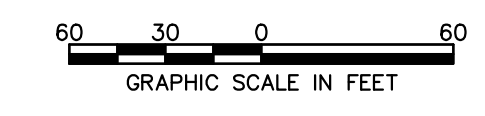
MAP REFERENCES

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- "PLAN OF LAND OWNED BY ESTATE OF DOROTHEA S.K. RICHARDSON, CONN. ROUTE 171 AND PLAINE HILL ROAD, WOODSTOCK, CONNECTICUT," SCALE: 1"=100', DATE: OCTOBER 18, 1989, BY ALBERT L. FITZBACK, L.L.S. ON FILE AS MAP NO. 1227

NOTES

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LOT HISTORY			
GRANTOR	GRANTEE	DATE	VOL/PG
KATHERINE BURNS, ROBERT E. PRITCHARD, PHYLLIS SMITH, ESTATE OF DOROTHEA S. K. RICHARDSON	WOODSTOCK INN ASSOCIATES, L.P.	4/14/1986	149 / 134
ESTATE OF GARDNER RICHARDSON	DOROTHEA S. K. RICHARDSON	9/21/1978	96 / 17
HENRY BOWEN WHITE (ESTATE OF HERBERT W. BOWEN)	GARDNER RICHARDSON	8/16/1949	51 / 73
HENRY E. BOWEN, EDWARD A. BOWEN, FRANKLIN A. BOWEN, MARY B. & GEORGE C. HOLT, CLARENCE N. BOWEN, ALICE B. & RICHARD B. RICHARDSON, GRACE A. HARDY	HERBERT W. BOWEN	10/14/1904	37 / 475

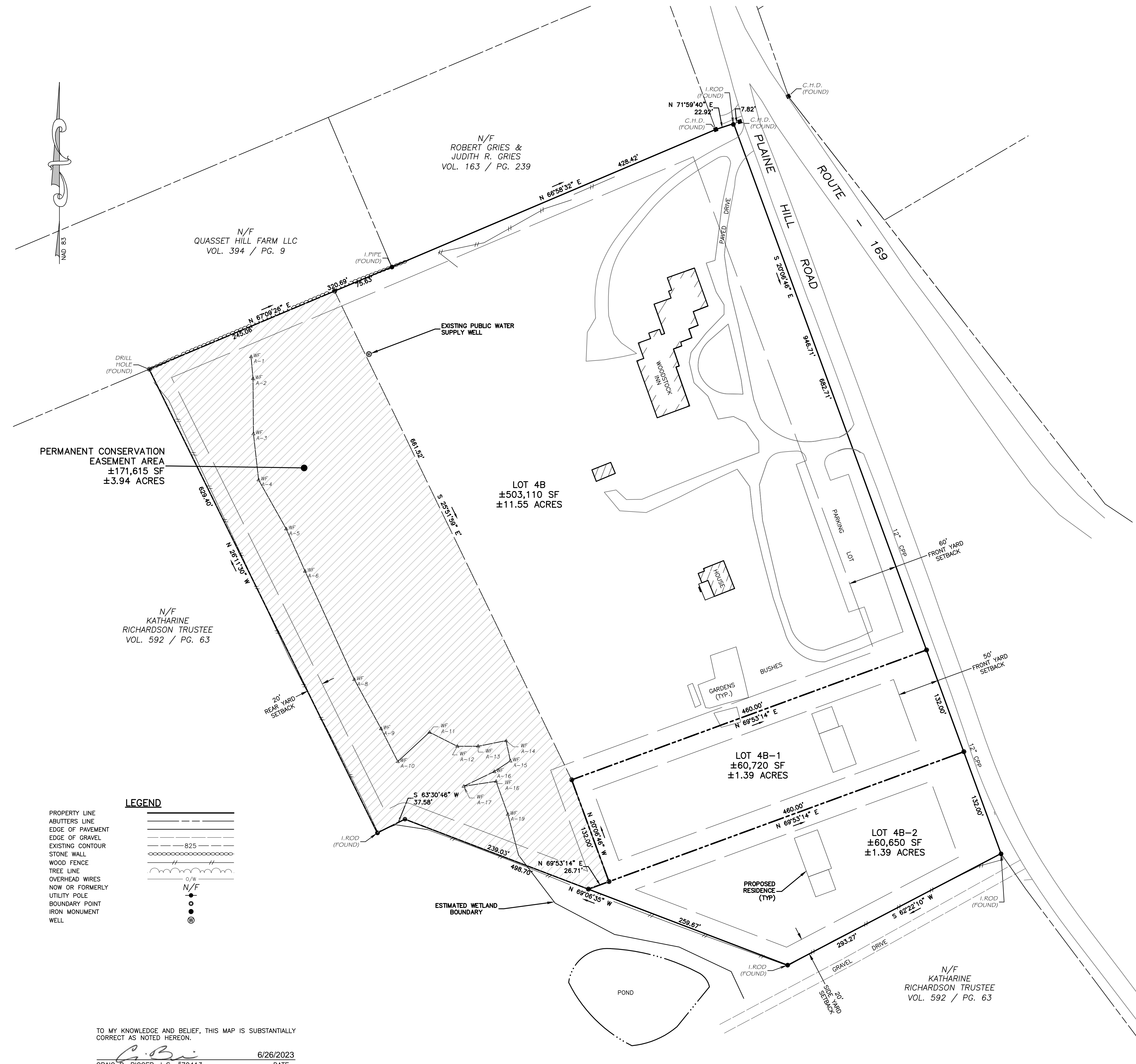


SUBDIVISION APPROVAL

APPLICATION: # _____

APPROVED ON: _____

CHAIRMAN OR SECRETARY SIGNATURE _____ DATE _____



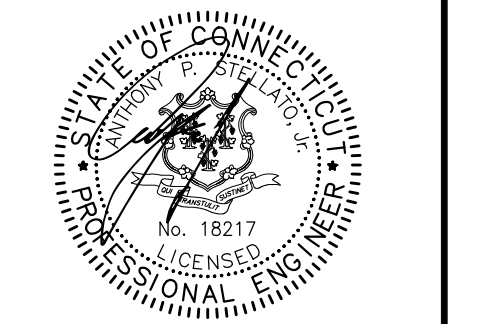
LEGEND

PROPERTY LINE	---
ABUTTERS LINE	----
EDGE OF PAVEMENT	=====
EDGE OF GRAVEL	-----
EXISTING CONTOUR	~~~~~
STONE WALL	=====
WOOD FENCE	=====
TREE LINE	=====
OVERHEAD WIRES	o/w
NOW OR FORMERLY UTILITY POLE	N/F
BOUNDARY POINT	●
IRON MONUMENT	⊙
WELL	⊗

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

C. P. Bigger
 CRAIG P. BIGGER, L.S. #70413
 6/26/2023
 DATE

RE-SUBDIVISION PLAN
 PREPARED FOR:
**WOODSTOCK INN
 ASSOCIATES LP**



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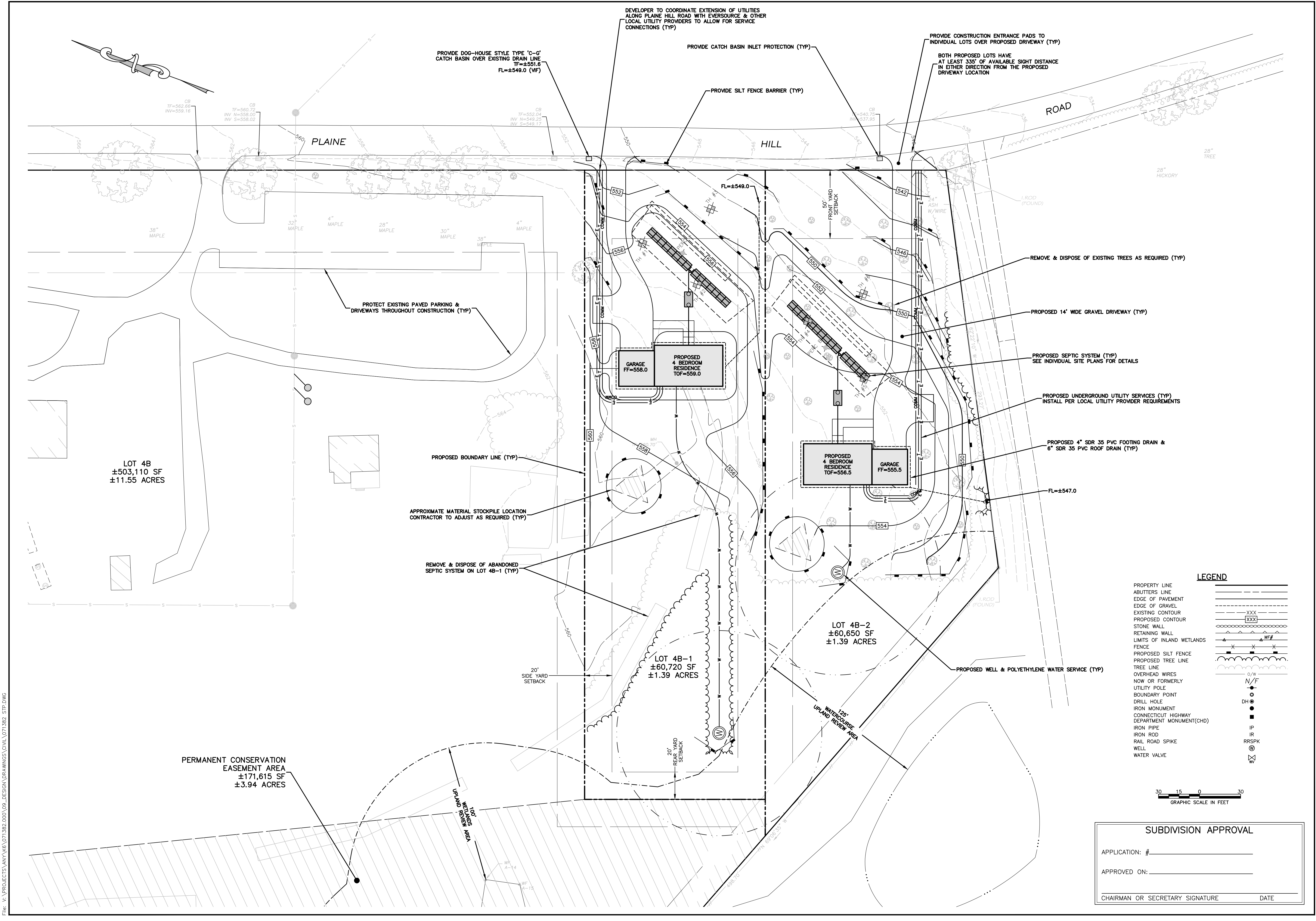
PROJECT LOCATION:
 94 PLAIN HILL ROAD
 WOODSTOCK, CT 06268

No.	Submitted / Revision	App'd	By	Date

OVERALL SITE PLAN

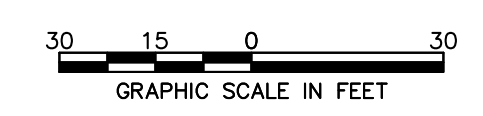
Designed By: PMP	Drawn By: RAC/PMP	Checked By: CPB
Issue Date: 06/26/2023	Project No: 071382	Scale: 1" = 30'

Drawing No.:
SHEET 3



LEGEND

PROPERTY LINE	---
ABUTTERS LINE	----
EDGE OF PAVEMENT	-----
EDGE OF GRAVEL	-----
EXISTING CONTOUR	XXX
PROPOSED CONTOUR	XXX
STONE WALL	-----
RETAINING WALL	-----
LIMITS OF INLAND WETLANDS	WF#
FENCE	X X X
PROPOSED SILT FENCE	-----
PROPOSED TREE LINE	-----
TREE LINE	-----
OVERHEAD WIRES	O/W
NOW OR FORMERLY UTILITY POLE	N/F
BOUNDARY POINT	○
DRILL HOLE	○
IRON MONUMENT	●
CONNECTICUT HIGHWAY DEPARTMENT MONUMENT(CHD)	■
IRON PIPE	IP
IRON ROD	IR
RAIL ROAD SPIKE	RRSPK
WELL	⊗
WATER VALVE	⊕



SUBDIVISION APPROVAL

APPLICATION: # _____

APPROVED ON: _____

CHAIRMAN OR SECRETARY SIGNATURE _____ DATE _____

RE-SUBDIVISION PLAN
 PREPARED FOR:
 WOODSTOCK INN
 ASSOCIATES LP



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PROJECT LOCATION:
 94 PLAIN HILL ROAD
 WOODSTOCK, CT 06268

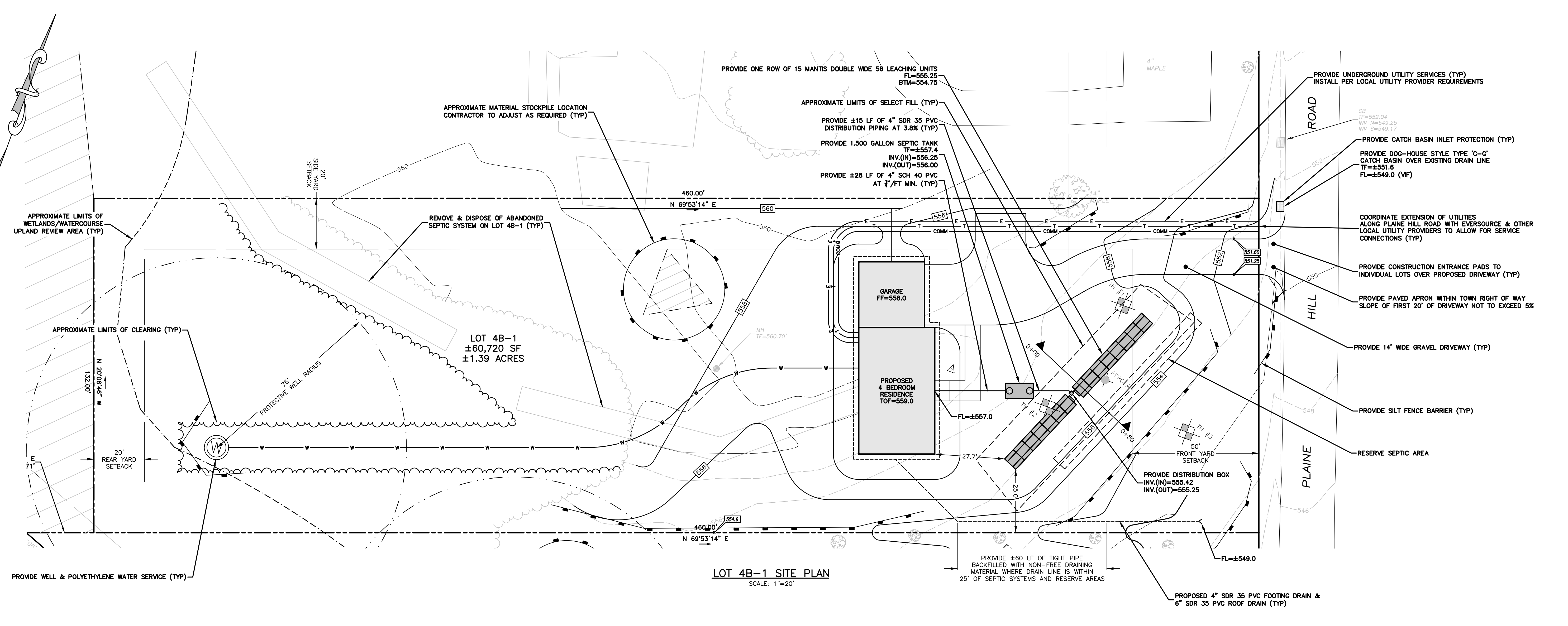
No.	Submitted / Revision	App'd	By	Date

SITE PLAN
 PROPOSED
 LOT 4B-1
 (1.39 AC)

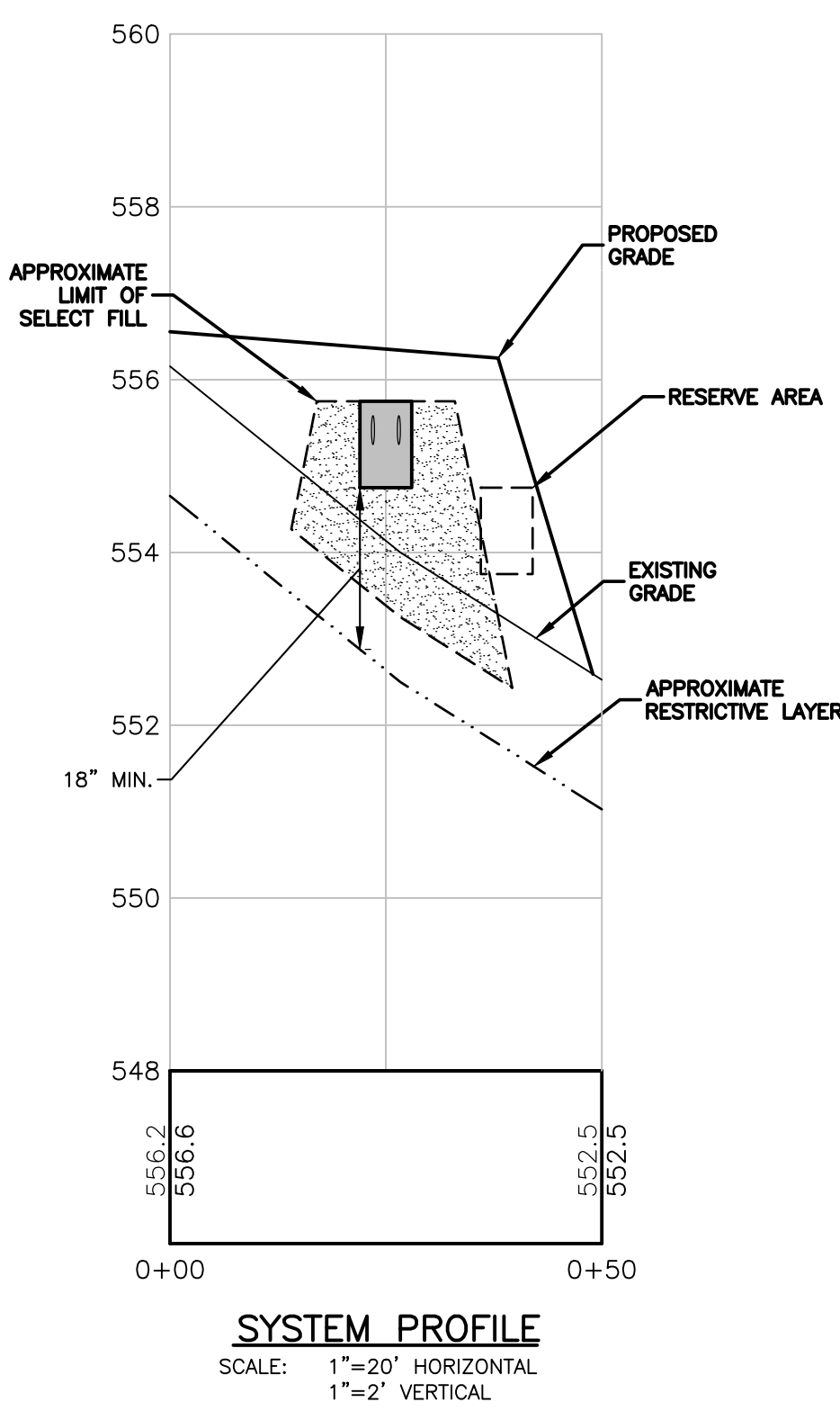
Designed By:	Drawn By:	Checked By:
PMP	RAC/PMP	CPB
Issue Date:	Project No.:	Scale:
06/26/2023	071382	AS NOTED

Drawing No.:

SHEET 4



LOT 4B-1 SITE PLAN
 SCALE: 1"=20'



TEST HOLE DATA
 12/21/2022
 OBSERVED BY: MAUREEN MARCOUX, RS (NDH) & PETE PARENT, PE (CHA)

<p>TP #1 TOTAL DEPTH=74" 0-10" TOPSOIL 10"-22" FINE SANDY LOAM 22"-67" MODERATELY COMPACT LOAMY FINE SAND, WET NO LEDGE ENCOUNTERED GROUNDWATER @ 67" MOTTLING @ 22" RESTRICTIVE LAYER @ 22"</p> <p>TP #2 TOTAL DEPTH=67" 0-11" TOPSOIL 11"-19" FINE SANDY LOAM 19"-60" MODERATELY COMPACT LOAMY FINE SAND, SOME STONE, WET NO LEDGE ENCOUNTERED GROUNDWATER @ 60" MOTTLING @ 19" RESTRICTIVE LAYER @ 19"</p> <p>TP #3 TOTAL DEPTH=68" 0-12" TOPSOIL 12"-20" FINE SANDY LOAM 20"-64" MODERATELY COMPACT LOAMY FINE SAND, WET NO LEDGE ENCOUNTERED GROUNDWATER @ 64" MOTTLING @ 20" RESTRICTIVE LAYER @ 20"</p>	<p>PERCOLATION DATA 12/21/2022</p> <p>PERC A DEPTH=22" 10:12 - 6.75" 10:17 - 6.5" 10:23 - 9.75" 10:33 - 11.5" 10:43 - 13" 10:53 - 14.25" 11:03 - 15.25" 11:13 - 16"</p> <p>PERC RATE=10.1-20.0 MIN/IN</p>
---	---

MINIMUM LEACHING SYSTEM SPREAD - MLSS

FLOW FACTOR	= 1.75 (4 BEDROOM SINGLE FAMILY HOUSE)
PERC FACTOR	= 1.25 (10-20 MIN/IN)
DEPTH TO RESTRICTIVE LAYER	= 24' AVERAGE (30' AT SYSTEM, 18" DOWN SLOPE)
SLOPE	= ±6.2%
HYDRAULIC FACTOR	= 30
MLSS = FF x PF x HF	= 65.6' REQUIRED
LENGTH PROVIDED	= 75'

DESCRIPTION OF PROPOSED CONSTRUCTION
 PERCOLATION RATE = 10.1-20.0 MINUTES/INCH
 4 BEDROOM SINGLE FAMILY RESIDENCE REQUIRES 787.5 SF OF LEACHING AREA
 PROVIDE 1 ROW OF 15 MANTIS DOUBLE WIDE 58 UNITS
 EFFECTIVE LEACHING AREA = 870 SF
 PROVIDE A 1,500 GALLON 2-COMPARTMENT TANK
 (4 BEDROOMS, PLUS CAPACITY FOR GARBAGE GRINDER, LARGE TUB, OR COMPATIBLE WATER TREATMENT SYSTEM)

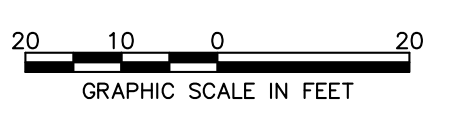
- SEPTIC SYSTEM CONSTRUCTION SCHEDULE**
- 1.) REMOVE AND STOCKPILE TOPSOIL
 - 2.) PLACE MANUFACTURER APPROVED SAND FILL ACCORDING TO CT STATE HEALTH CODE REQUIREMENTS.
 - 3.) EXCAVATE TRENCHES AND PREPARE SURFACE.
 - 4.) PLACE LEACHING UNITS IN TRENCH & BACKFILL WITH APPROVED AS RECOMMENDED BY THE MANUFACTURER
 - 5.) PLACE FILTER FABRIC ON TOP OF THE ENTIRE LENGTH OF THE SYSTEM, AND BACKFILL WITH NATIVE MATERIAL.
 - 6.) REPLACE TOPSOIL, SEED & MULCH.

- CONSTRUCTION NOTES**
- 1.) BOTTOM OF LEACHING SYSTEM SHALL BE LEVEL THROUGHOUT. UNDER NO CIRCUMSTANCES SHALL ANY LEACHING ROW HAVE A PITCH EXCEEDING 1" PER 50'.
 - 2.) PIPE BETWEEN THE HOUSE AND THE SEPTIC TANK SHALL BE SCH. 40 ASTM D 1785 PVC. THIS PIPE SHALL HAVE A MINIMUM SLOPE OF 0.25" PER 1'.
 - 3.) ALL DISTRIBUTION PIPES TO BE 4" SDR 35 PVC OR POLYETHYLENE PIPE AS SPECIFIED IN SEC. 19-13-8103, TABLE 5 OF THE CT. STATE HEALTH CODE.
 - 4.) ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH CT. STATE HEALTH CODE.
 - 5.) ALL TOPSOIL IN THE LOCATION OF THE PROPOSED SYSTEM SHALL BE REMOVED AND STOCKPILED PRIOR TO EXCAVATION.
 - 6.) FILL MATERIAL FOR SEPTIC AREA IS TO BE SELECT FILL PER CT. STATE HEALTH CODE SPECIFICATIONS.
 - 7.) SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE PLACED ON 6" COMPACTED GRAVEL BASE.

- NOTES**
- 1.) TOTAL AREA OF LOT = 1.39± ACRES.
 - 2.) LOT IS IN ZONE: COMMUNITY DISTRICT.
 - 3.) VERTICAL DATUM IS NAVD 88.
 - 4.) THIS PLAN IS VOID AND THE ENGINEER SHALL BE HELD HARMLESS IF THE PROJECT IS CONSTRUCTED BY A CONTRACTOR, NOT PROPERLY LICENSED BY STATE AND LOCAL AUTHORITIES TO PERFORM THE WORK.
 - 5.) UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY, FIELD MEASUREMENTS AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CHA THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTACT "CALL BEFORE YOU DIG" 1-800-922-4455 TWO (2) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

LEGEND

PROPERTY LINE	---
ABUTTERS LINE	---
EDGE OF PAVEMENT	---
EDGE OF GRAVEL	---
EXISTING CONTOUR	---
PROPOSED CONTOUR	XXX
STONE WALL	XXX
RETAINING WALL	---
LIMITS OF INLAND WETLANDS	---WF---
FENCE	---
PROPOSED SILT FENCE	---
PROPOSED TREE LINE	---
TREE LINE	---
OVERHEAD WIRES	O/W
NOW OR FORMERLY UTILITY POLE	N/F
BOUNDARY POINT	●
DRILL HOLE	○
IRON MONUMENT	DIH
CONNECTICUT HIGHWAY DEPARTMENT MONUMENT(CHD)	■
IRON PIPE	IP
IRON ROD	IR
RAIL ROAD SPIKE	RRSPK
WELL	⊕
WATER VALVE	W



SUBDIVISION APPROVAL

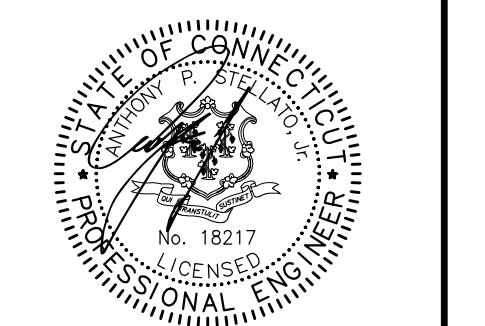
APPLICATION: # _____

APPROVED ON: _____

CHAIRMAN OR SECRETARY SIGNATURE _____ DATE _____

File: V:\PROJECTS\WV\46\071382\000\09_DESIGN\DRAWINGS\CVL\071382_SIP.DWG

RE-SUBDIVISION PLAN
 PREPARED FOR:
WOODSTOCK INN ASSOCIATES LP



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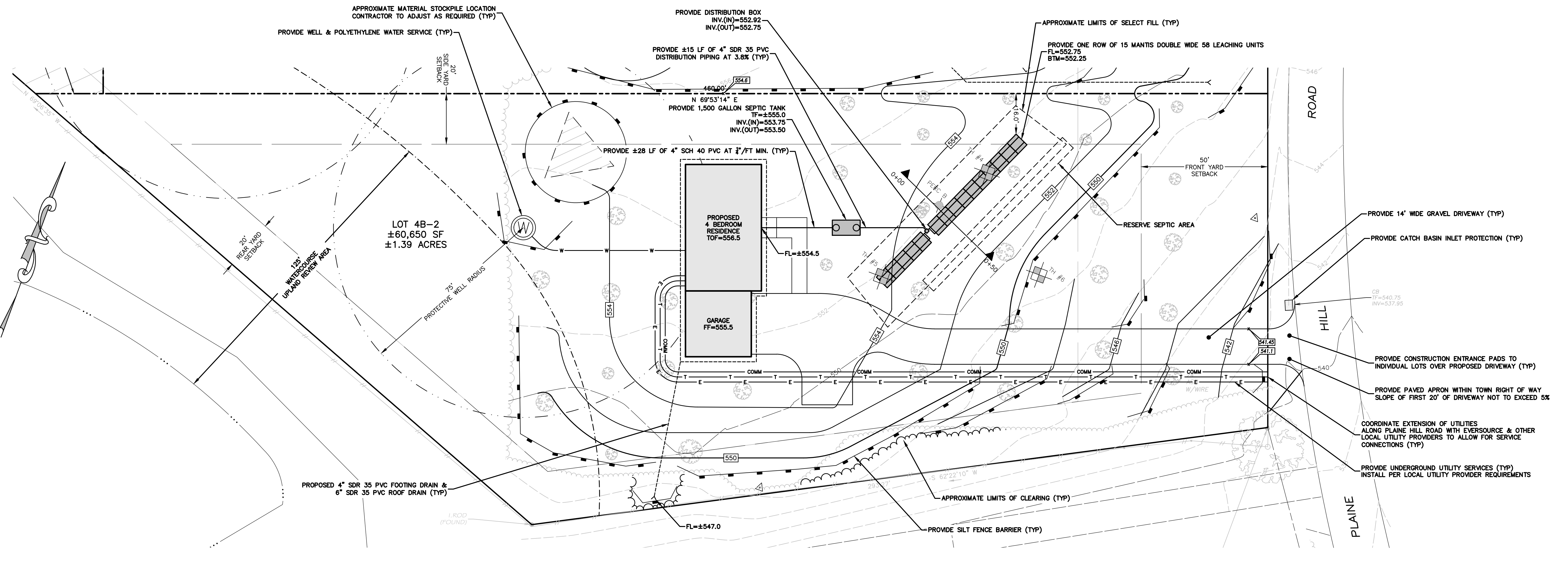
PROJECT LOCATION:
 94 PLAIN HILL ROAD
 WOODSTOCK, CT 06268

No.	Submitted / Revision	App'd.	By	Date

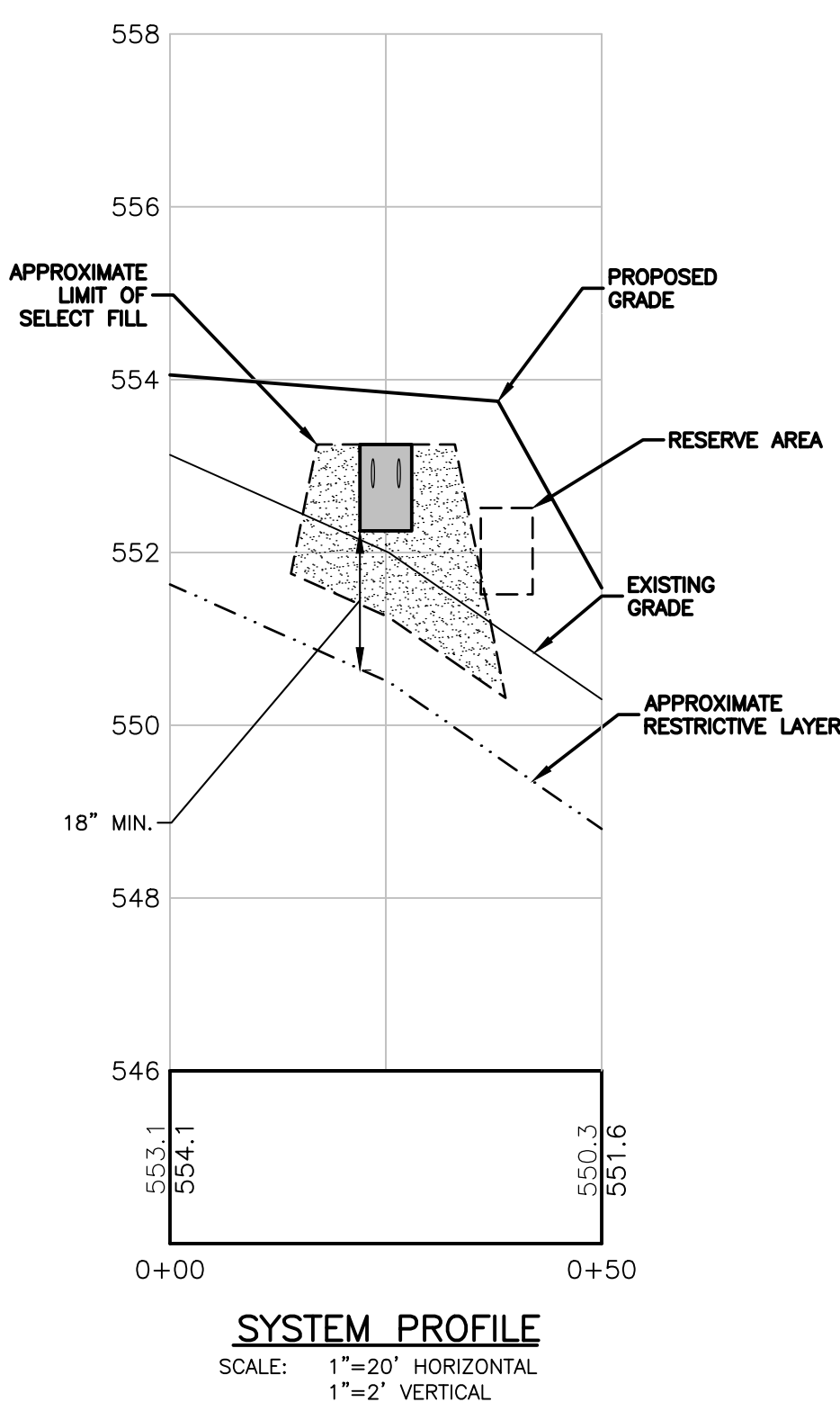
SITE PLAN PROPOSED LOT 4B-2 (1.39 AC)

Designed By: PMP	Drawn By: RAC/PMP	Checked By: CPB
Issue Date: 06/26/2023	Project No.: 071382	Scale: AS NOTED

Drawing No.:
SHEET 5



LOT 4B-2 SITE PLAN
 SCALE: 1"=20'



TEST HOLE DATA
 12/21/2022 MAUREEN MARCOUX, RS (NDH) & PETE PARENT, PE (CHA)

TP #4
 TOTAL DEPTH=60"
 0-12" TOPSOIL
 12"-20" FINE SANDY LOAM, FEW ROCKS
 20"-57" MODERATELY COMPACT LOAMY FINE SAND, WET
 NO LEDGE ENCOUNTERED
 GROUNDWATER @ 57"
 MOTTLING @ 20"
 RESTRICTIVE LAYER @ 20"

TP #5
 TOTAL DEPTH=69"
 0-17" TOPSOIL
 17"-29" FINE SANDY LOAM
 29"-66" MODERATELY COMPACT LOAMY FINE SAND, WET
 NO LEDGE ENCOUNTERED
 GROUNDWATER @ 66"
 MOTTLING @ 29"
 RESTRICTIVE LAYER @ 29"

TP #6
 TOTAL DEPTH=60"
 0-13" TOPSOIL
 13"-21" FINE SANDY LOAM
 21"-54" MODERATELY COMPACT LOAMY FINE SAND, WET
 NO LEDGE ENCOUNTERED
 GROUNDWATER @ 54"
 MOTTLING @ 21"
 RESTRICTIVE LAYER @ 21"

PERCOLATION DATA
 12/21/2022

PERC A
 DEPTH=21.5"
 10:16 - 8.25"
 10:22 - 11.25"
 10:32 - 14.25"
 10:42 - 16.5"
 10:52 - 18.25"
 11:02 - 19.5"
 PERC RATE=0-10.0 MIN/IN

MINIMUM LEACHING SYSTEM SPREAD - MLSS
 FLOW FACTOR = 1.75 (4 BEDROOM SINGLE FAMILY HOUSE)
 PERC FACTOR = 1.25 (10-20 MIN/IN)
 DEPTH TO RESTRICTIVE LAYER = 24" AVERAGE (30" AT SYSTEM, 18" DOWN SLOPE)
 SLOPE = ±6.2%
 HYDRAULIC FACTOR = 30
 MLSS = FT x PF x HF = 65.6' REQUIRED
 LENGTH PROVIDED = 75'

DESCRIPTION OF PROPOSED CONSTRUCTION
 PERCOLATION RATE = 10.1-20.0 MINUTES/INCH
 4 BEDROOM SINGLE FAMILY RESIDENCE REQUIRES 787.5 SF OF LEACHING AREA
 PROVIDE 1 ROW OF 15 MANTIS DOUBLE WIDE 58 UNITS
 EFFECTIVE LEACHING AREA = 870 SF
 PROVIDE A 1,500 GALLON 2-COMPARTMENT TANK (4 BEDROOMS, PLUS CAPACITY FOR GARBAGE GRINDER, LARGE TUB, OR COMPATIBLE WATER TREATMENT SYSTEM)

SEPTIC SYSTEM CONSTRUCTION SCHEDULE

- REMOVE AND STOCKPILE TOPSOIL
- PLACE MANUFACTURER APPROVED SAND FILL ACCORDING TO CT STATE HEALTH CODE REQUIREMENTS.
- EXCAVATE TRENCHES AND PREPARE SURFACE.
- PLACE LEACHING UNITS IN TRENCH & BACKFILL WITH APPROVED AS RECOMMENDED BY THE MANUFACTURER
- PLACE FILTER FABRIC ON TOP OF THE ENTIRE LENGTH OF THE SYSTEM, AND BACKFILL WITH NATIVE MATERIAL.
- REPLACE TOPSOIL, SEED & MULCH.

CONSTRUCTION NOTES

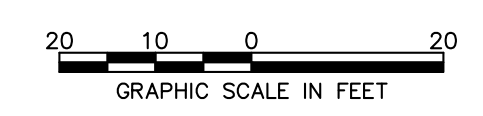
- BOTTOM OF LEACHING SYSTEM SHALL BE LEVEL THROUGHOUT. UNDER NO CIRCUMSTANCES SHALL ANY LEACHING ROW HAVE A PITCH EXCEEDING 1" PER 50'.
- PIPE BETWEEN THE HOUSE AND THE SEPTIC TANK SHALL BE SCH. 40 ASTM D 1785 PVC; THIS PIPE SHALL HAVE A MINIMUM SLOPE OF 0.25" PER 1'.
- ALL DISTRIBUTION PIPES TO BE 4" SDR 35 PVC OR POLYETHYLENE PIPE AS SPECIFIED IN SEC. 19-13-B103, TABLE 5 OF THE CT. STATE HEALTH CODE.
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH CT. STATE HEALTH CODE.
- ALL TOPSOIL IN THE LOCATION OF THE PROPOSED SYSTEM SHALL BE REMOVED AND STOCKPILED PRIOR TO EXCAVATION.
- FILL MATERIAL FOR SEPTIC AREA IS TO BE SELECT FILL PER CT. STATE HEALTH CODE SPECIFICATIONS.
- SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE PLACED ON 6" COMPACTED GRAVEL BASE.

NOTES

- TOTAL AREA OF LOT = 1.39± ACRES.
- LOT IS IN ZONE: COMMUNITY DISTRICT.
- VERTICAL DATUM IS NAVD 88.
- THIS PLAN IS VOID AND THE ENGINEER SHALL BE HELD HARMLESS IF THE PROJECT IS CONSTRUCTED BY A CONTRACTOR, NOT PROPERLY LICENSED BY STATE AND LOCAL AUTHORITIES TO PERFORM THE WORK.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY, FIELD MEASUREMENTS AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CHA THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTACT "CALL BEFORE YOU DIG" 1-800-922-4455 TWO (2) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

LEGEND

PROPERTY LINE	---
ABUTTERS LINE	----
EDGE OF PAVEMENT	=====
EDGE OF GRAVEL	-----
EXISTING CONTOUR
PROPOSED CONTOUR
STONE WALL	-----
RETAINING WALL	-----
LIMITS OF INLAND WETLANDS	-----
FENCE	-----
PROPOSED SILT FENCE	-----
PROPOSED TREE LINE	-----
TREE LINE	-----
OVERHEAD WIRES	-----
NOW OR FORMERLY UTILITY POLE	-----
BOUNDARY POINT	-----
DRILL HOLE	-----
IRON MONUMENT	-----
CONNECTICUT HIGHWAY DEPARTMENT MONUMENT(CHD)	-----
IRON PIPE	-----
IRON ROD	-----
RAIL ROAD SPIKE	-----
WELL	-----
WATER VALVE	-----

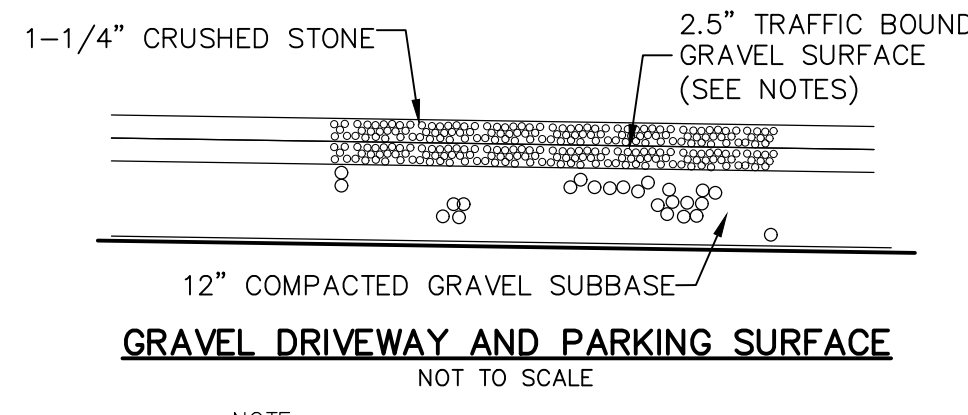


SUBDIVISION APPROVAL

APPLICATION: # _____

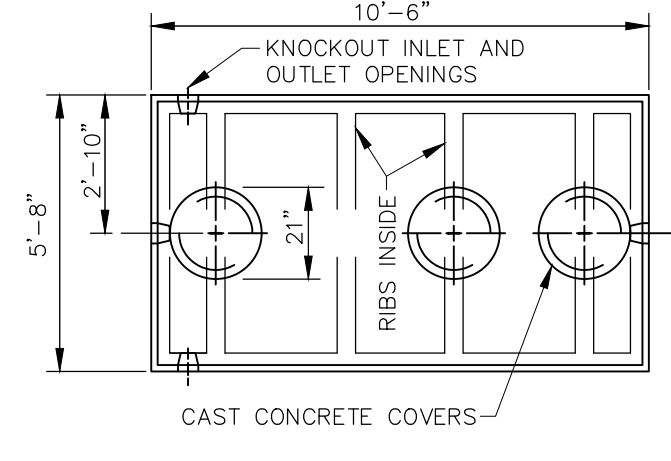
APPROVED ON: _____

CHAIRMAN OR SECRETARY SIGNATURE _____ DATE _____



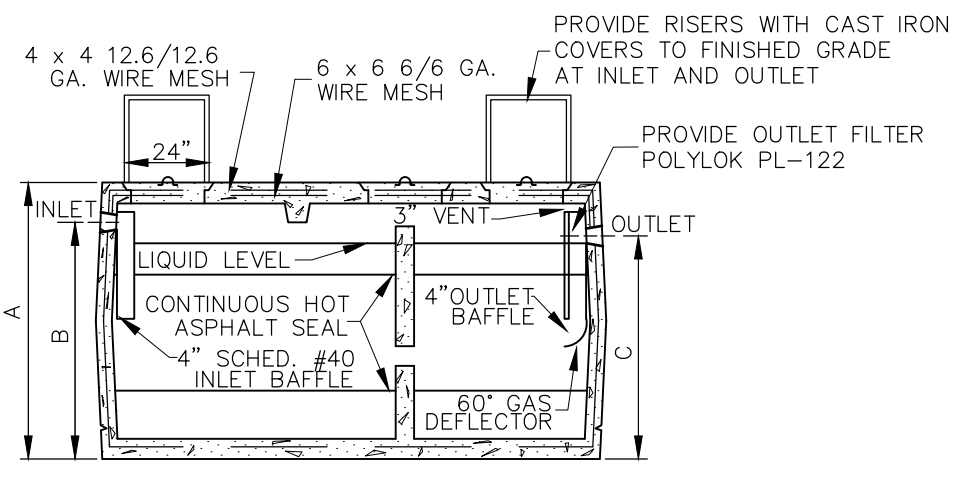
GRAVEL DRIVEWAY AND PARKING SURFACE
NOT TO SCALE

NOTE:
1. TRAFFIC BOUND GRAVEL SURFACE SHALL MEET CT DOT STANDARD SPECIFICATIONS M.02.06 GRADATION, GRADING "C".



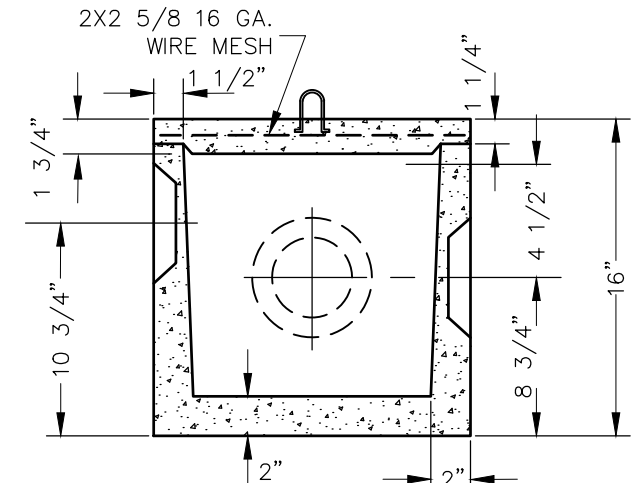
PLAN

CAPACITIES	A	B	C
1250 GAL	61"	51"	48"
1500 GAL	69"	59"	56"



CROSS SECTION

**1250/1500 GALLON
2 COMPARTMENT SEPTIC TANK**
NOT TO SCALE



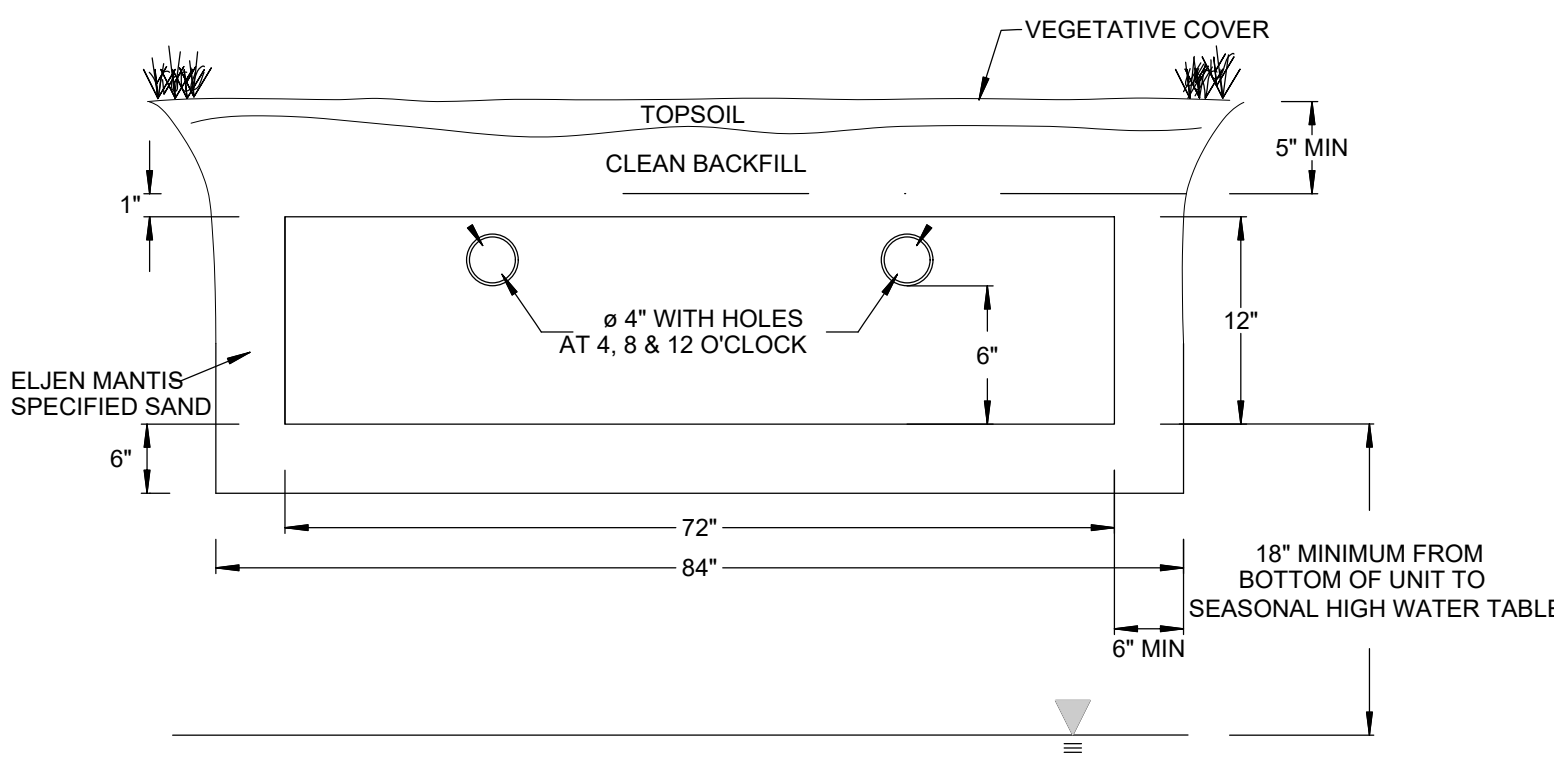
STANDARD D-BOX
NOT TO SCALE

SEPTIC SYSTEM FILL MATERIAL SPECIFICATIONS

- 1.) THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THREE(3) INCHES.
- 2.) UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE (THIS IS THE GRAVEL PORTION OF THE SAMPLE).
- 3.) THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED
- 4.) THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA.

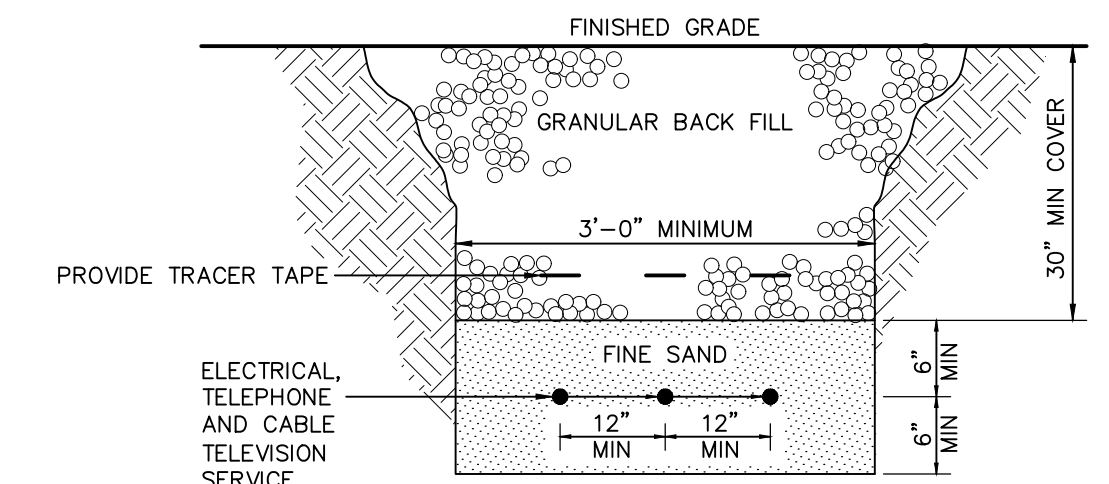
SIEVE SIZE	PERCENT PASSING	
	WET SIEVE	DRY SIEVE
#4	100%	100%
#10	70%-100%	70%-100%
#40	10%-50%	10%-75%
#100	0%-20%	0%-5%
#200	0%-5%	0%-2.5%

*NOTE: PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 DOES NOT EXCEED 5%



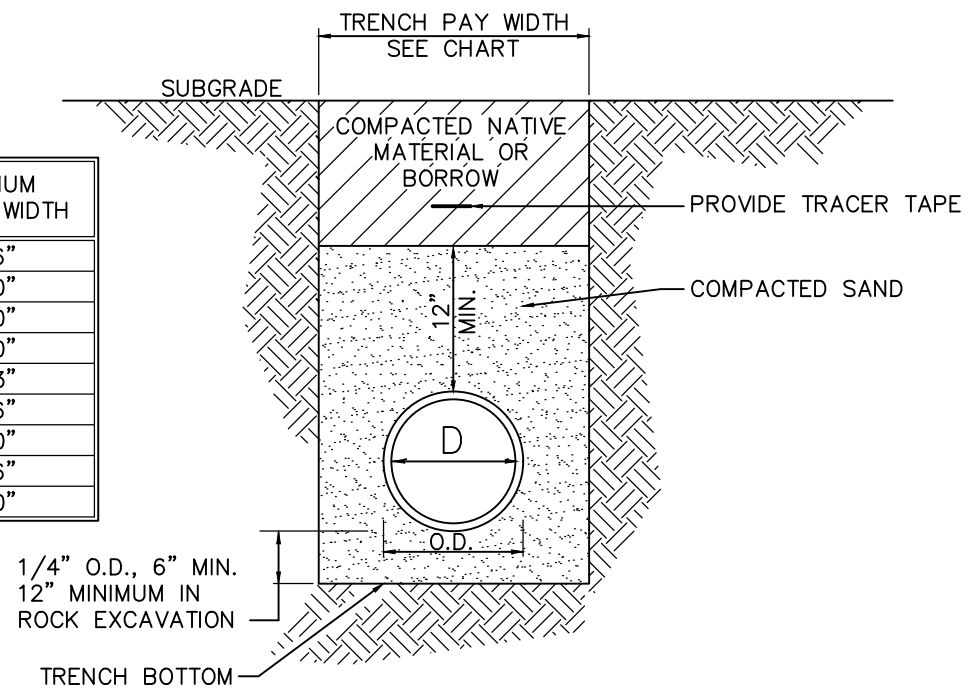
MANTIS DW-58
NOT TO SCALE

NOTE: VENTING REQUIRED WHEN MORE THAN 18" OF COVER AS MEASURED FROM THE TOP OF THE UNIT TO FINISHED GRADE



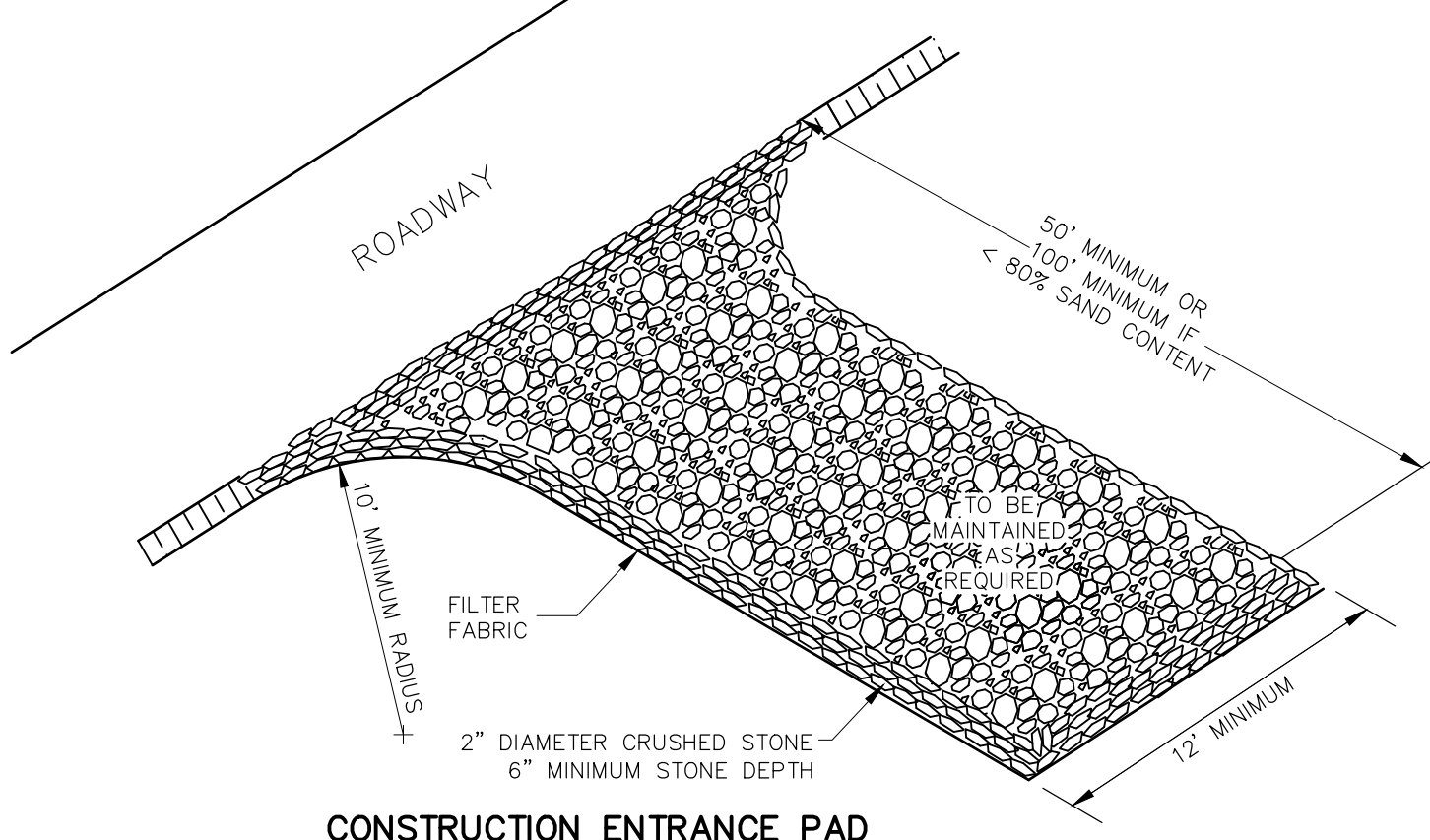
BURIED CABLE TRENCH
NOT TO SCALE

PIPE DIAMETER	MAXIMUM TRENCH WIDTH
≤6"	2'-6"
8"	3'-0"
10"	3'-0"
12"	3'-0"
15"	3'-3"
18"	3'-6"
21"	4'-0"
24"	4'-6"
30"	5'-0"



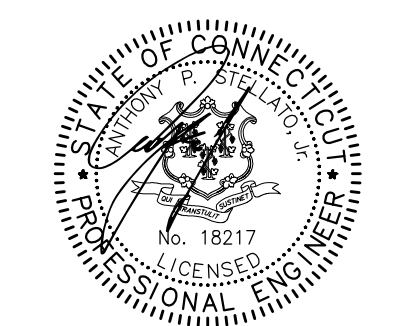
TRENCH SECTION FOR TYPICAL WATER TRENCH
NOT TO SCALE

NOTE: BACKFILL MATERIAL TO BE PLACED IN 12" MAXIMUM LIFTS & COMPACTED TO 95% MAXIMUM DRY DENSITY (AS DETERMINED BY THE MODIFIED PROCTOR METHOD)



CONSTRUCTION ENTRANCE PAD
NTS

RE-SUBDIVISION PLAN
PREPARED FOR:
**WOODSTOCK INN
ASSOCIATES LP**



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE ALTERNATIVE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

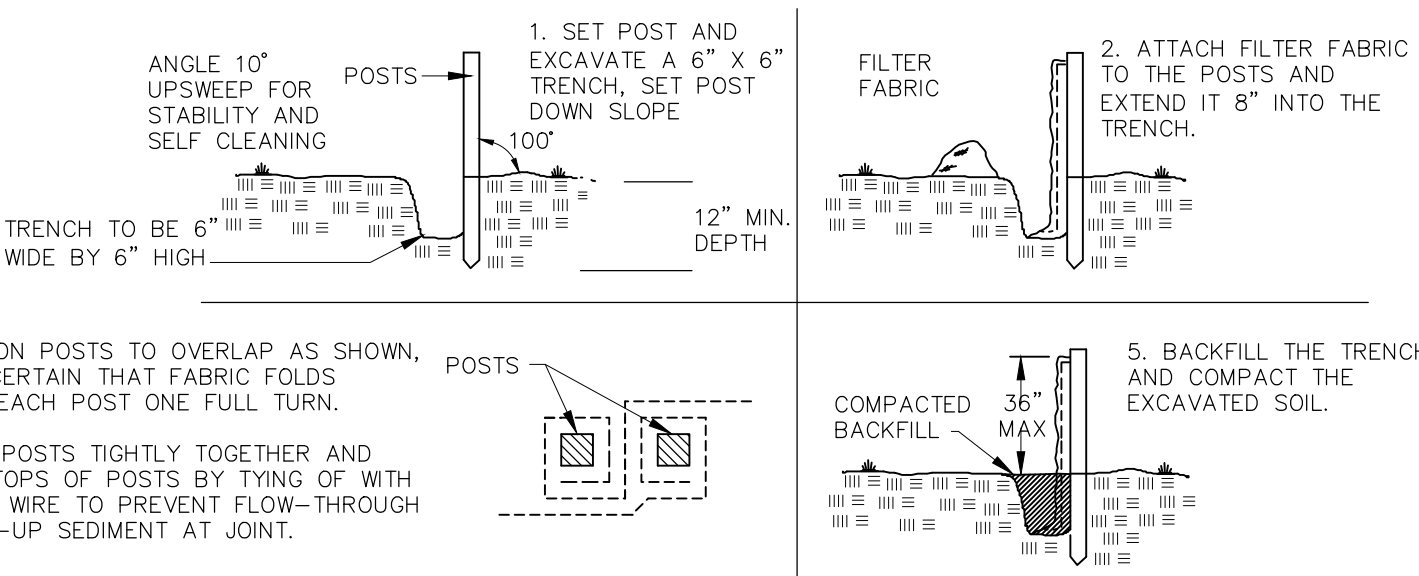
PROJECT LOCATION:
**94 PLAIN HILL ROAD
WOODSTOCK, CT 06268**

No.	Submittal / Revision	App'd.	By	Date

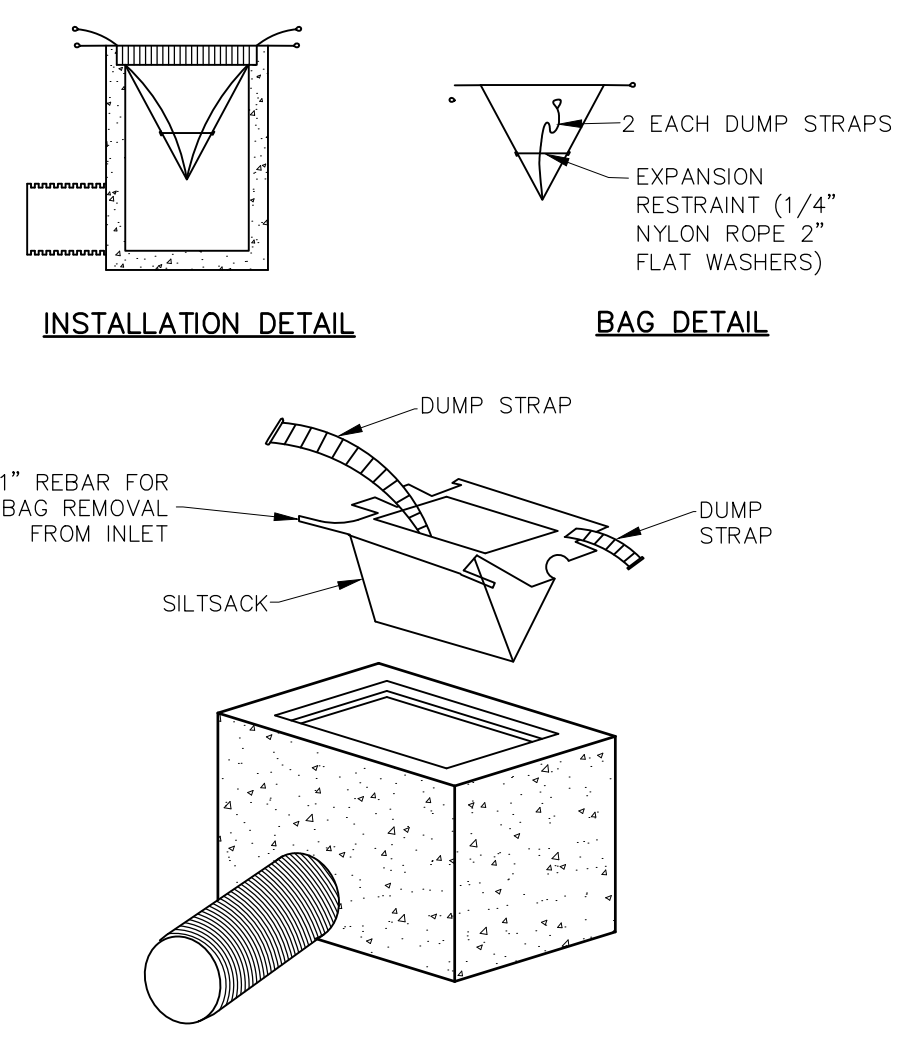
**CONSTRUCTION
DETAILS**

Designed By:	Drawn By:	Checked By:
PMP	RAC/PMP	CPB
Issue Date:	Project No:	Scale:
06/26/2023	071382	AS NOTED

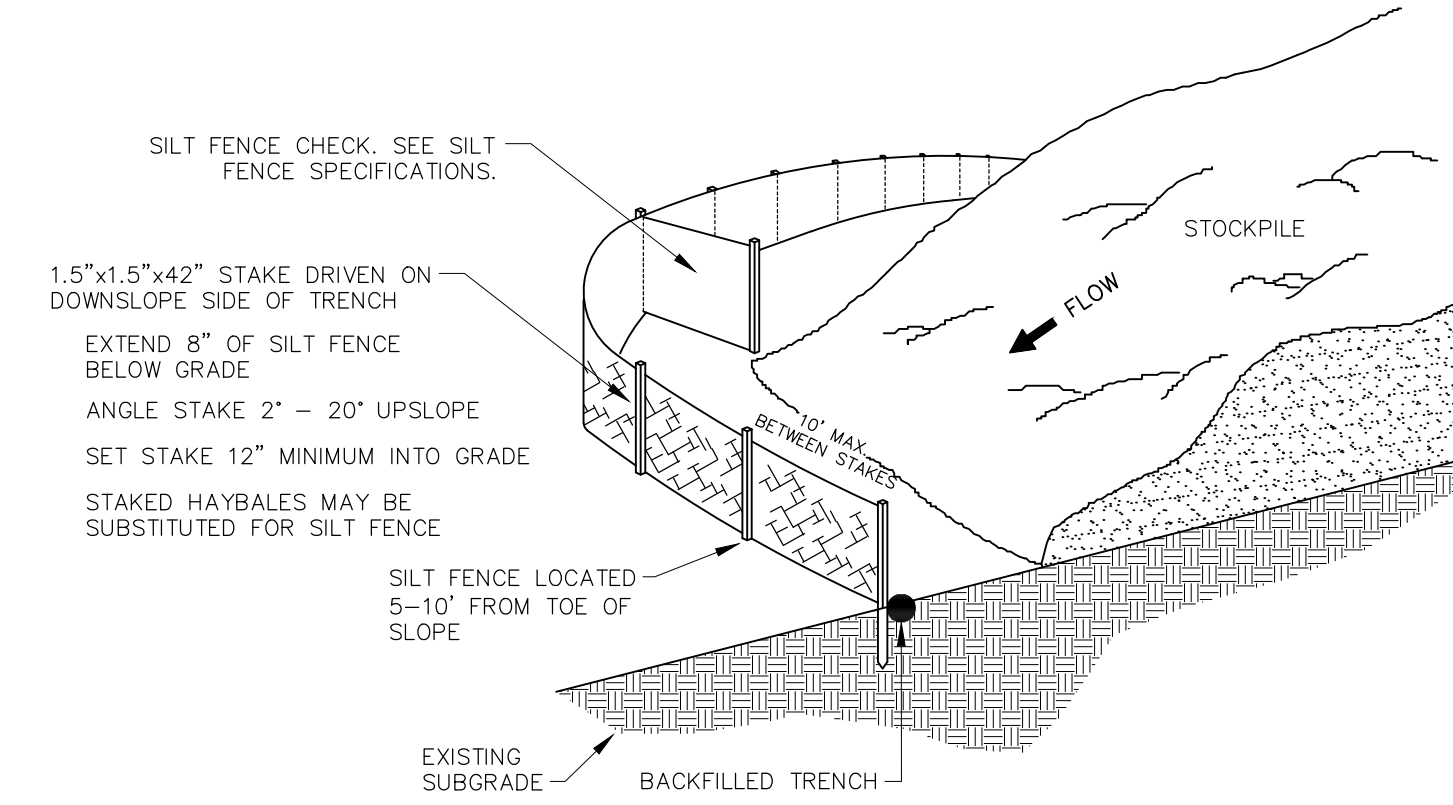
Drawing No.:
SHEET 6



PLACEMENT AND CONSTRUCTION OF A SILT FENCE
NOT TO SCALE

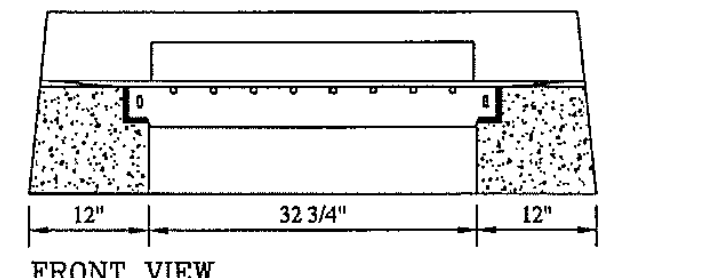
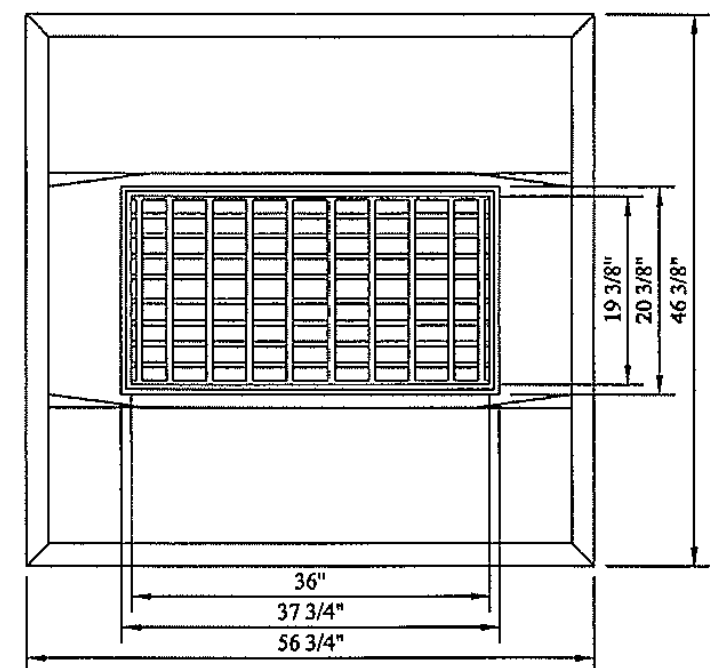


INLET SEDIMENT CONTROL DEVICE
NOT TO SCALE



SILT FENCE AT TOE OF SLOPE APPLICATION
NOT TO SCALE

PIPE DIAMETER	MAXIMUM TRENCH WIDTH
≤6"	2'-6"
8"	3'-0"
10"	3'-0"
12"	3'-0"
15"	3'-3"
18"	3'-6"
21"	4'-0"
24"	4'-6"
30"	5'-0"



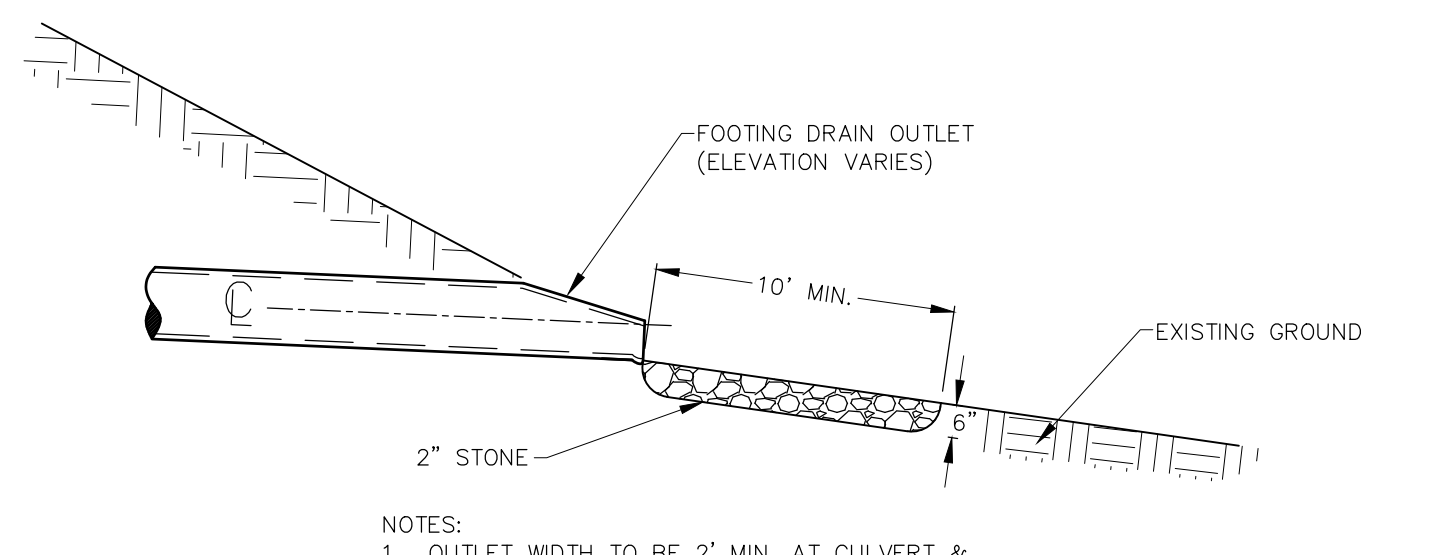
NOTES:

1. Minimum Concrete Compressive Strength: 5,000 PSI @ 28 Days.
2. Design Loading: AASHTO HS-20.
3. Conforms to CTDOT standard specifications.
4. Steel reinforced with #4 bars.
5. Approximate weight: 1800 LBS.

TYPE "C-C" CATCH BASIN
NTS

TRENCH SECTION FOR SANITARY SEWER & STORM DRAINS
NOT TO SCALE

NOTE: BACKFILL MATERIAL TO BE PLACED IN 12" MAXIMUM LIFTS & COMPACTED TO 95% MAXIMUM DRY DENSITY (AS DETERMINED BY THE MODIFIED PROCTOR METHOD)



FOOTING & ROOF DRAIN OUTLET
NOT TO SCALE

- NOTES:
1. OUTLET WIDTH TO BE 2" MIN. AT CULVERT & 12" MIN. AT END OF PAD.
 2. INSTALL STAINLESS STEEL ANIMAL GUARD (AGRI-DRAIN OR EQUAL) AT OUTLET

SUBDIVISION APPROVAL

APPLICATION: # _____

APPROVED ON: _____

CHAIRMAN OR SECRETARY SIGNATURE _____ DATE _____

EROSION AND SEDIMENTATION CONTROL NARRATIVE & NOTES

PROJECT NARRATIVE

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF 2 NEW SINGLE FAMILY HOMES ON ±14.3 ACRES IN THE TOWN OF WOODSTOCK, CONNECTICUT. THE LOCATION OF THE SITE IS ON THE WEST SIDE OF PLAINE HILL ROAD JUST SOUTH OF THE INTERSECTION OF ROUTE 169. THIS PROJECT WILL CONSIST OF RESIDENTIAL HOMES, DRIVEWAYS, AND UNDERGROUND UTILITIES.

IT IS ANTICIPATED THAT APPROXIMATELY 1.5 ACRES OF THE ±14.3 ACRE SITE WILL BE DISTURBED DURING THE CONSTRUCTION OF THE SUBDIVISION.

INDIVIDUAL LOTS WILL BE DEVELOPED AS THEY ARE PURCHASED. THE DATES FOR STARTING AND COMPLETING CONSTRUCTION SHALL COINCIDE WITH THE ABILITY TO VEGETATE AREAS, APRIL 1 THROUGH JUNE 15 AND AUGUST 15 THROUGH OCTOBER 1.

THIS PROJECT REQUIRES THE FOLLOWING PERMITS:
TOWN OF WOODSTOCK INLAND WETLANDS & WATERCOURSES APPROVAL
TOWN OF WOODSTOCK SUBDIVISION APPROVAL
NORTHEAST DISTRICT DEPARTMENT OF HEALTH APPROVAL
ZONING PERMIT FOR INDIVIDUAL LOTS
BUILDING PERMITS FOR INDIVIDUAL LOTS

CONSTRUCTION SEQUENCE FOR INDIVIDUAL LOTS

- A. STAKEOUT LIMIT OF DISTURBANCE.
- B. HOLD A PRECONSTRUCTION MEETING.
- C. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TWO (2) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- D. INSTALL THE CONSTRUCTION ENTRANCE.
- E. INSTALL PERIMETER FILTER (SILT FENCE).
- F. PERFORM ALL NECESSARY CLEARING AND GRUBBING OPERATIONS.
- G. EXCAVATE ALL STUMPS LOCATED IN STRUCTURAL AREAS AND REMOVE TO A DISPOSAL SITE OR STOCKPILE AREA TO BE CHIPPED. STUMPS IN NON-STRUCTURAL AREAS MAY BE GROUND IN PLACE OR CUT FLUSH WITH THE GROUND LEVEL.
- H. STRIP ALL TOPSOIL WITHIN THE FOOTPRINT OF THE CONSTRUCTION SITE. STOCKPILE ALL TOPSOIL IN AN APPROVED AREA AND SECURE WITH EROSION AND SEDIMENT CONTROLS.
- I. ROUGH GRADE LOT AND DRIVEWAY.
- J. DIG FOUNDATION AND STOCKPILE MATERIAL AS REQUIRED.
- K. PRIOR TO INSTALLATION OF SURFACE WATER CONTROLS SUCH AS TEMPORARY DIVERSIONS AND STONE DIKES, INSPECT EXISTING CONDITIONS TO ENSURE DISCHARGE LOCATIONS ARE STABLE. IF NOT STABLE, REVIEW DISCHARGE CONDITIONS WITH THE DESIGN ENGINEER AND IMPLEMENT ADDITIONAL STABILIZATION MEASURES PRIOR TO INSTALLING WATER SURFACE CONTROLS.
- L. STABILIZE CUT AND FILL SLOPES.
- M. INSTALL SERVICE UTILITIES.
- N. FINISH GRADE DRIVEWAY.
- O. PLACE TOPSOIL WHERE REQUIRED.
- P. FINISH GRADE SIDE SLOPES, SEED AND MULCH.
- Q. CONSTRUCT FOUNDATION AND ERECT STRUCTURES.
- R. UPON SUBSTANTIAL COMPLETION OF THE BUILDING, COMPLETE THE BALANCE OF SITE WORK AND STABILIZATION OF ALL OTHER DISTURBED AREAS.
- S. ALL REMAINING EXPOSED AREAS SHALL BE LOAMED, SEEDED AND MULCHED OR SODDED WITHIN 14 DAYS OF FINAL GRADING.
- T. AFTER SITE IS FULLY STABILIZED REMOVE & DISPOSE OF TEMPORARY EROSION AND SEDIMENT CONTROLS.

NOTE: SEVERAL OF THE ABOVE ACTIVITIES MAY BE DONE SIMULTANEOUSLY.

HOUSE SITE DEVELOPMENT

- A. PLOT PLANS FOR EACH INDIVIDUAL LOT SHALL BE SUBMITTED TO THE ZONING ENFORCEMENT OFFICER & BUILDING OFFICIAL FOR REVIEW IN ACCORDANCE WITH THE TOWN REGULATIONS. A ZONING PERMIT MUST BE OBTAINED PRIOR TO APPLICATION FOR A BUILDING PERMIT.
- B. PLOT PLANS FOR EACH LOT SHALL INDICATE PROPOSED SEDIMENTATION AND EROSION CONTROLS AND ALSO THE PROPOSED HOUSE LOCATION, LOT GRADING, LIMIT OF TREE CLEARING, DRIVEWAY DESIGN, SANITARY SEWER LOCATION AND SITE DRAINAGE.
- C. TOE OF SLOPE SEDIMENTATION FILTERS SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.
- D. TOPSOIL AND EXCAVATED SUBSOIL FROM THE FOUNDATION AREA SHOULD BE STOCKPILED WITHIN THE AREA OF DISTURBANCE IF NOT USED FOR ON SITE RE-GRADING. EACH STOCKPILE MUST BE ADEQUATELY RINGED WITH SILT FENCE.
- E. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING.

SEEDING SPECIFICATIONS

- A. IF GROUND HAS BEEN PREVIOUSLY MULCHED, MULCH MUST BE REMOVED OR ADDITIONAL NITROGEN MUST BE ADDED.
- B. REMOVE ALL SURFACE STONES 2" OR LARGER AS WELL AS ALL DEBRIS SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, CLUMPS, OR OTHER UNSUITABLE MATERIAL.
- C. APPLY FERTILIZER AT 7.5 POUNDS PER 1,000 SQUARE FEET AND LIME AT 200 POUNDS PER 1,000 SQUARE FEET UNLESS SOIL TESTING FOR REQUIREMENTS IS PERFORMED.
- D. NO MOWING IS TO BE UNDERTAKEN UNTIL THE MAJORITY OF THE VEGETATION IS AT LEAST 6" HIGH. MOWING SHOULD CUT THE TOP 1/3 OF VEGETATION. DO NOT UNDER ANY CIRCUMSTANCES CUT VEGETATION BELOW 3".
- E. DO NOT APPLY ANY FORM OF WEED CONTROL UNTIL GRASS HAS BEEN MOWED AT LEAST 4 TIMES.
- F. THESE SEEDING MEASURES ARE NOT TO BE USED ON SLOPES IN EXCESS OF 2:1 GRADING.
- G. PERMANENT SEEDING MEASURES ARE TO BE USED INSTEAD OF TEMPORARY SEEDING MEASURES WHERE WORK IS TO BE SUSPENDED FOR A PERIOD OF TIME LONGER THAN 1 YEAR.
- H. IF THERE IS NO EROSION, BUT SEED SURVIVAL IS LESS THAN 100 PLANTS PER SQUARE FOOT AFTER 4 WEEKS OF GROWTH, RE-SEED AS PLANTING SEASON ALLOWS.
- I. ALL DISTURBED AREAS OUTSIDE THE PAVEMENT AREA, WITHIN AND OUTSIDE THE ROAD RIGHT OF WAY, SHALL BE RESTORED IN ACCORDANCE WITH THE CITY/TOWN SUBDIVISION REGULATIONS.

EROSION & SEDIMENT CONTROL OPERATIONS AND MAINTENANCE

- A. EROSION AND SEDIMENTATION CONTROL AND RESTORATION MEASURES SHALL CONFORM TO THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL", PUBLISHED BY THE CONNECTICUT COUNCIL OF SOIL AND WATER CONSERVATION AND THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION; AND TO CITY/TOWN REGULATIONS.
- B. INSTALLATION OF SEDIMENT AND EROSION CONTROLS SUCH AS SILT FENCES SHALL BE ESTABLISHED PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES.
- C. ALL STOCKPILED MATERIAL SHALL BE RINGED WITH SILT FENCES. ANY MATERIAL TO BE STOCKPILED LONGER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING OR JUTE NETTING.
- D. SILT FENCE SHALL BE PLACED 5-10 FEET FROM THE TOE OF ALL CRITICAL SLOPES AS SHOWN ON THE PLAN. THESE SHALL BE CHECKED BY THE CONTRACTOR REGULARLY AND REPAIRED WHENEVER THEY FAIL TO ENSURE CLEAN RUN-OFF FROM THE SITE.
- E. ADDITIONAL CONTROL MEASURES IF REQUESTED BY THE CITY/TOWN SHALL BE INSTALLED IMMEDIATELY UPON REQUEST.
- F. ALL DISTURBED AREAS SHALL BE PROTECTED WITH A MINIMUM VEGETATION COVER AS SHOWN IN ACCOMPANYING CHART.
- G. THE CONTRACTOR SHALL PLAN ALL LAND DISTURBING ACTIVITIES IN A MANNER AS TO MINIMIZE THE EXTENT OF THE DISTURBED AREAS.
- H. THE CONTRACTOR SHALL MAKE DAILY INSPECTIONS OF THE SITE TO INSURE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND WILL IMMEDIATELY MAKE NECESSARY REPAIRS IF REQUIRED BY THE CITY/TOWN.
- I. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED AT A MINIMUM OF ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.1 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS.
- J. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REPLACED WITHIN 24 HOURS OF AN OBSERVED FAILURE.
- K. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE BY THE DESIGNATED ENTRANCE. THIS ENTRANCE SHALL BE CONSTRUCTED OF CRUSHED STONE TO HELP FREE TIRES OF SOIL WHEN LEAVING THE SITE. THE CONTRACTOR SHALL INSTRUCT ALL VEHICLE DRIVERS TO CLEAN SOIL MATERIAL FROM TIRES IN FRONT OF THE SITE. ALL SOIL, MISCELLANEOUS DEBRIS, OR OTHER MATERIAL SPILLED, DUMPED OR OTHERWISE DEPOSITED ON PUBLIC STREETS, HIGHWAYS, SIDEWALKS OR OTHER PUBLIC THOROUGHFARES DURING TRANSIT TO OR FROM THE SITE SHALL BE REMOVED PROMPTLY.
- L. THE CONTRACTOR HEREBY ACKNOWLEDGES HIS RESPONSIBILITY TO INSTALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ON THIS SITE AND THAT HIS FAILURE TO INSTALL AND MAINTAIN THESE DEVICES COULD RESULT IN FINES OR SUSPENSION OF WORK BY THE CITY/TOWN.
- M. MINIMIZE OR ELIMINATE ANY UNNECESSARY LAND DISTURBANCE OR CLEARING.

SILT FENCE SPECIFICATIONS

- A. SYNTHETIC FILTER FABRIC SHALL BE A PERVIOUS SHEET OF PROPYLENE, NYLON, POLYESTER, ETHYLENE, OR SIMILAR FILAMENTS AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE FOLLOWING MINIMUM REQUIREMENTS:

1. FILTERING EFFICIENCY	75 PERCENT (MIN)
2. GRAB TENSILE STRENGTH	100 POUNDS
3. ELONGATION AT FAILURE	15 PERCENT
4. MULLEN BURST STRENGTH	250 POUNDS PER SQUARE INCH
5. PUNCTURE STRENGTH	50 POUNDS
6. APPARENT OPENING SIZE	0.60mm < X < 0.90mm
7. FLOW RATE	0.2 GALLONS PER SQUARE FOOT PER MINUTE
8. PERMITTIVITY	0.05 PER SECOND (MIN)
9. ULTRAVIOLET RADIATION STABILITY	70 PERCENT AFTER 500 HOURS OF EXPOSURE (MIN)
- B. STAKES ARE TO BE MADE OUT OF HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 1.5 SQUARE INCHES OR STEEL POSTS WITH A MINIMUM WEIGHT OF 0.5 POUNDS PER LINEAR FOOT.
- C. TORN OR PUNCTURED GEOTEXTILES SHALL NOT BE USED.
- D. ON SLOPES WHERE SURFACE FLOW FOLLOWS THE SILT FENCE LINE, PERPENDICULAR SILT FENCE CHECKS SHALL BE INSTALLED AT 50 FOOT INTERVALS.
- E. LINES OF SILT FENCE SHOULD FOLLOW CONTOUR LINES 5-10 FEET DOWN GRADIENT FROM THE SLOPE. WHERE CONTOUR LINES CAN NOT BE FOLLOWED PERPENDICULAR WINGS SHOULD BE PLACED AT 50 FOOT INTERVALS.

SUGGESTED SEEDING MIXTURES AND PRACTICES

AREAS WHERE SEED MIX APPLIES	SEEDING MIXTURES BY WEIGHT	RATE PER 1,000 SQ. FT.	SEEDING DATES
ALL LAWN AREAS	RED FESCUE	1 LBS.	APRIL 1 – JUNE 15 OR AUG. 15 – OCT. 1
	KENTUCKY BLUEGRASS		
	PERENNIAL RYEGRASS		
ROAD CUTS, FILLS, DIVERSION DITCHES, & STORMWATER BASINS	KENTUCKY TALL FESCUE	0.95 LBS.	APRIL 1 – JUNE 15 OR AUG. 15 – OCT. 1
	REDTOP		
	CREeping RED FESCUE		
WHERE TREES ARE TO BE RETAINED, THE SEED MIXTURE SHOULD BE ADAPTED FOR SHADY CONDITIONS.			
TEMPORARY SEEDING	ANNUAL RYEGRASS OR PERENNIAL RYEGRASS	1-1/2 LBS.	WITHIN 7 DAYS AFTER SUSPENSION OF GRADING WORK

GENERAL NOTES

1. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
2. INLAND WETLAND BOUNDARIES WERE REVIEWED IN THE FIELD BY SARAH BERRYMAN CERTIFIED SOILS SCIENTIST.
3. ALL UTILITIES SHALL BE APPROVED BY LOCAL UTILITY COMPANIES PRIOR TO CONSTRUCTION; ALL UTILITIES SHALL BE CONSTRUCTED TO UTILITY COMPANY SPECIFICATIONS.
4. ALL CONSTRUCTION SHALL BE TO CITY/TOWN SPECIFICATIONS & REGULATIONS.
5. NO CHANGES CAN BE MADE TO THESE PLANS WITHOUT THE CITY/TOWN ENGINEER'S APPROVAL.
6. CONTRACTOR SHALL OBTAIN ALL REQUIRED LOCAL & STATE PERMITS PRIOR TO BEGINNING ANY CONSTRUCTION.
7. FIELD CHANGES SHALL HAVE PRIOR APPROVAL OF THE CITY/TOWN ENGINEER.
8. ALL SEPTIC SYSTEMS & HOUSES SHALL BE LOCATED A MINIMUM OF 50' FROM INLAND WETLANDS.
9. CONTRACTOR SHALL NOTIFY THE CITY/TOWN ENGINEER OF CONSTRUCTION SCHEDULE SO THAT INSPECTION MAY BE PROVIDED.
10. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED ON PLANS HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY, FIELD MEASUREMENTS AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CHA. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION.
11. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TWO (2) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

PERSON RESPONSIBLE FOR MAINTAINING
CONTROL MEASURES DURING CONSTRUCTION.

NAME _____

ADDRESS _____

TELEPHONE # _____

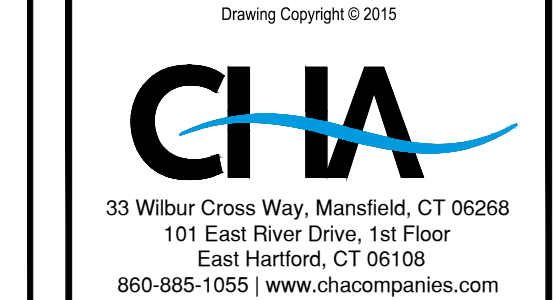
MAINTENANCE LOG

LOCATION	DESCRIPTION	DATE	INITIALS

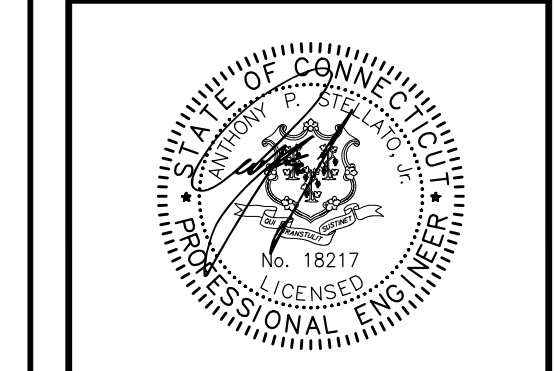
PROJECT DATES _____ DATE _____ INITIALS _____

PROJECT GROUNDBREAKING _____

FINAL STABILIZATION _____



RE-SUBDIVISION PLAN
PREPARED FOR:
**WOODSTOCK INN
ASSOCIATES LP**



IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OR STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

PROJECT LOCATION:
94 PLAINE HILL ROAD
WOODSTOCK, CT 06268

No.	Submitted / Revision	App'd. By	Date

EROSION & SEDIMENTATION CONTROL PLAN

Designed By: PMP	Drawn By: RAC/PMP	Checked By: CPB
Issue Date: 06/26/2023	Project No.: 071382	Scale: 1" = 20'

Drawing No.:
SHEET 7

SUBDIVISION APPROVAL

APPLICATION: # _____

APPROVED ON: _____

CHAIRMAN OR SECRETARY SIGNATURE _____ DATE _____

File: V:\PROJECTS\WXY\46\071382\000\09_DESIGN DRAWINGS\CIVIL\071382_SIP.DWG