

	DIN	MENSIONAL REQUIREMEN	TS
		COMMUNITY DISTRICT	
L	SINGLE FAI	MILY RESIDENTIAL RE-S	SUBDIVISION
	ZONING CRITERIA	REQUIRED	PROVIDED
	MINIMUM LOT AREA	0.75 ACRES	±1.39 ACRES (LOT 4B-2)
	LOT FRONTAGE	100'	±132' (LOT 4B-2)
	FRONT YARD SETBACK	50' (SUBDIVISION) 60' (NON-RESIDENTIAL)	±75' (LOT 4B-1)
	SIDE YARD SETBACK	20'	±28' (LOT 4B-1)
	REAR YARD SETBACK	20'	±88' (LOT 4b-2)
	OPEN SPACE	25% (3.59 ACRES)	3.94 ACRES
	BUILDING HEIGHT	35'	<35'
	CURB CUTS	1 CURB CUT PER 200' OF FRONTAGE 946.71' EXISTING FRONTAGE ON PLAINE HILL ROAD, THEREFORE 4 CURB CUTS ARE ALLOWED	4 TOTAL CURB CUTS 2 EXISTING & 2 PROPOSED

1. "SUBDIVISION OF LAND OWNED BY ESTATE OF DOROTHEA S.K. RICHARDSON. PLAINE HILL ROAD & ROUTE 169, WOODSTOCK. CONNECTICUT", SCALE: 1"=60', DATE: MARCH 4, 1986, BY ALBERT L. FITZBACK, L.L.S. ON FILE AS MAP NO. 866

2. "PLAN OF LAND OWNED BY ESTATE OF DOROTHEA S.K. RICHARDSON, CONN. ROUTE 171 AND PLAINE HILL ROAD, WOODSTOCK, CONNECTICUT," SCALE: 1"=100', DATE: OCTOBER 18, 1989, BY ALBERT L. FITZBACK, L.L.S. ON FILE AS MAP NO.

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996 AND AS AMENDED ON OCTOBER 26,

THE TYPE OF SURVEY PERFORMED IS A BOUNDARY SURVEY CONFORMING TO THE STANDARDS OF ACCURACY FOR A HORIZONTAL CLASS A-2 AND VERTICAL CLASS T-2 AND IS A RESURVEY OF THE SUBJECT PROPERTY.

THIS SURVEY WAS PREPARED TO DEPICT THE EXISTING CONDITIONS OF THE

2. THE SUBJECT PARCEL WAS CONVEYED TO WOODSTOCK INN ASSOCATION LP, THROUGH A CONVEYANCE DATED ON 4/14/1986, AND IS RECORDED IN VOLUME 149, PAGE 134 OF THE WOODSTOCK LAND RECORDS.

3. THE SUBJECT PROPERTY IS SHOWN ON THE WOODSTOCK TAX ASSESSOR MAP No. 5781 AS LOT 4B OF BLOCK 50 AND HAS BEEN ASSIGNED ADDRESS OF 94 PLAINE HILL ROAD, WOODSTOCK, CONNECTICUT.

6. ELEVATIONS ARE BASED ON VERTICAL DATUM NAVD88.

7. NORTH IS BASED ON CONNECTICUT STATE PLANE COORDINATE, NAD83 OBTAINED BY GPS OBSERVATIONS AT THE TIME OF THE SURVEY.

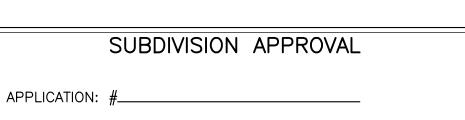
8. TOTAL AREA OF PROPERTY = $14.34\pm$ ACRES (624,480 \pm SQUARE FEET).

9. SITE IS LOCATED IN THE COMMUNITY DISTRICT ZONE.

10. ON-SITE WETLAND RESOURCES WERE DELINEATED IN THE FIELD ON 09/23/2022 BY STEVEN RIBERDY OF GODDARD CONSULTING.

11. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CHA THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO

	LOT HISTOR	? Y	
GRANTOR	GRANTEE	DATE	VOL/PG
KATHERINE BURNS, ROBERT E. PRITCHARD, PHYLLIS SMITH, ESTATE OF DORTHEA S. K. RICHARDSON	WOODSTOCK INN ASSOCIATES, L.P.	4/14/1986	149 / 134
ESTATE OF GARDNER RICHARDSON	DORTHEA S. K. RICHARDSON	9/21/1978	96 / 17
HENRY BOWEN WHITE (ESTATE OF HERBERT W. BOWEN)	GARDNER RICHARDSON	8/16/1949	51 / 73
HENRY E. BOWEN, EDWARD A. BOWEN, FRANKLIN A. BOWEN, MARY B. & GEORGE C. HOLT, CLARENCE N. BOWEN, ALICE B. & RICHARD B. RICHARDSON, GRACE A. HARDY	HERBERT W. BOWEN	10/14/1904	37 / 475



GRAPHIC SCALE IN FEET

APPROVED ON:

CHAIRMAN OR SECRETARY SIGNATURE DATE

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RE-SUBDIVISION PLAN PREPARED FOR:

> WOODSTOCK INN ASSOCIATES LP

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

PROJECT LOCATION:

94 PLAINE HILL ROAD WOODSTOCK, CT 06268

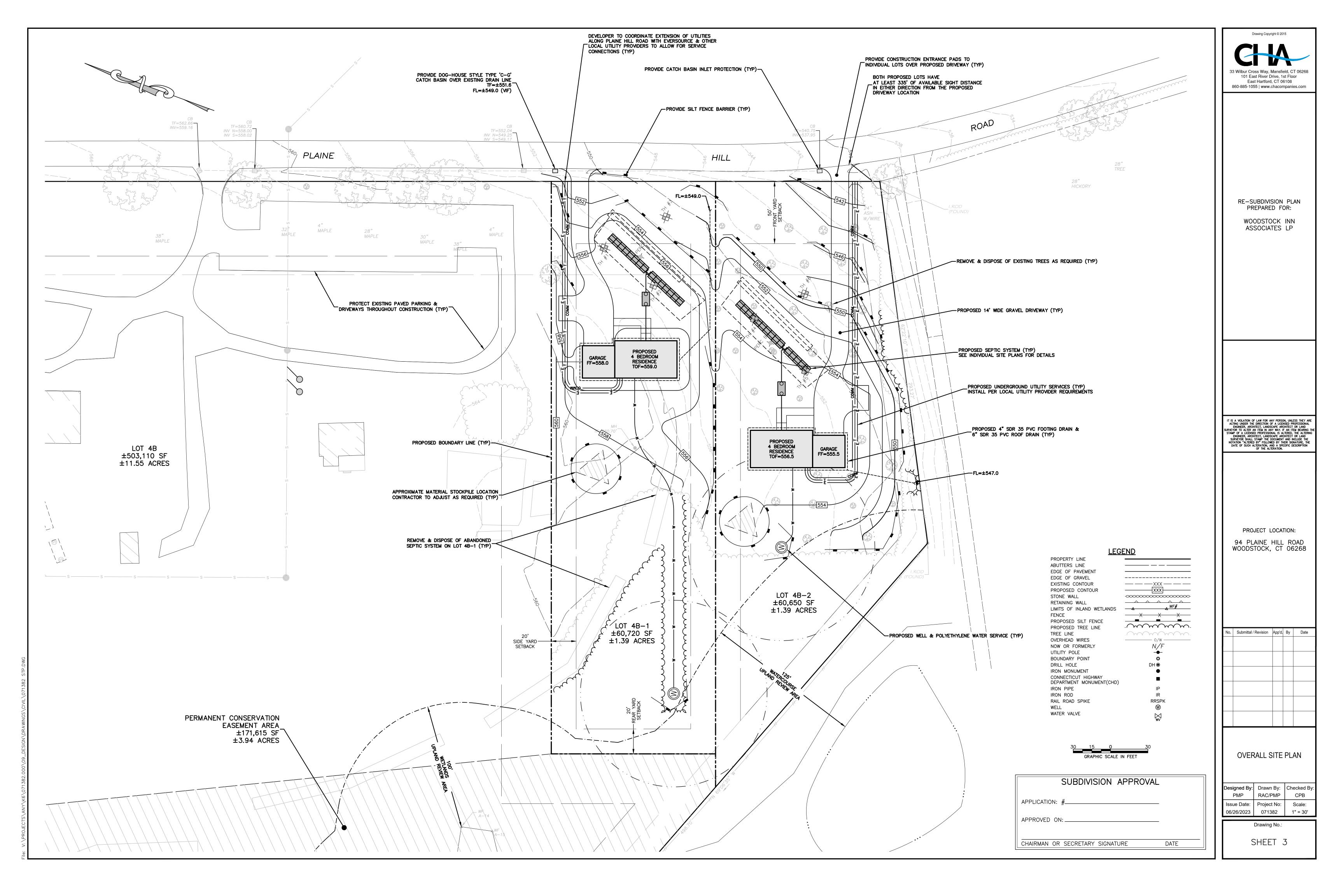
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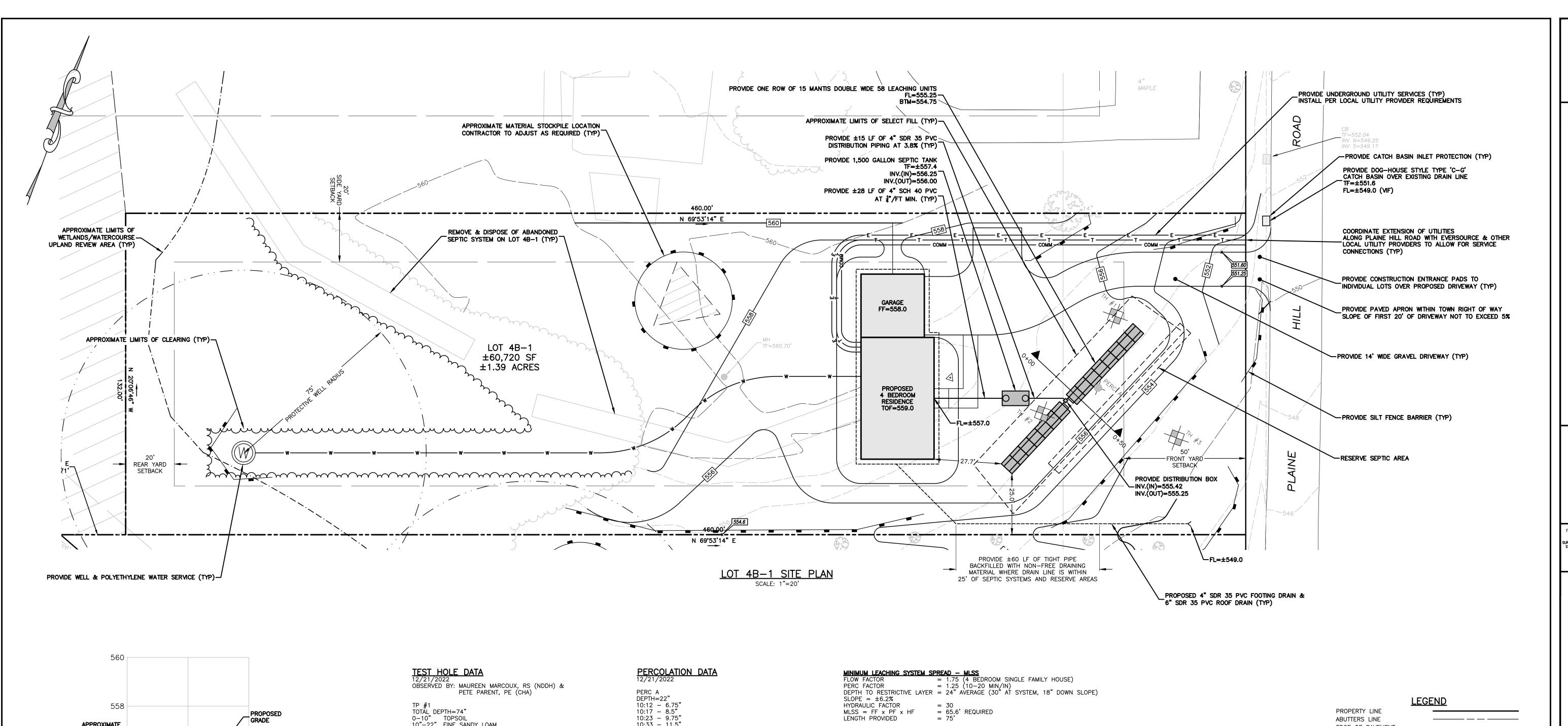
RE-SUBDIVISION PLAN

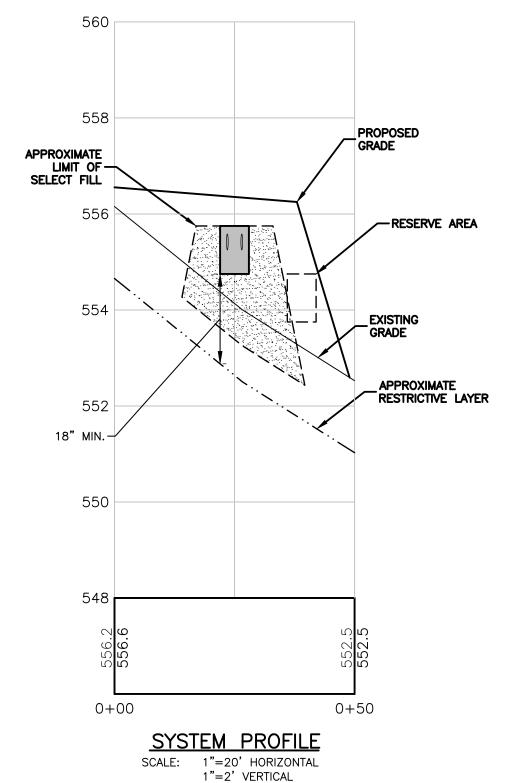
Designed By: Drawn By: Checked B RAC/PMP Issue Date: | Project No: | Scale: 06/26/2023 071382

Drawing No.:

SHEET 2







TP #1
TOTAL DEPTH=74"
0-10" TOPSOIL
10"-22" FINE SANDY LOAM 10:33 - 11.5" 22"-67" MODERATELY COMPACT LOAMY FINE SAND, WET 10:43 - 13" 10:53 - 14.25" 11:03 - 15.25" 11:13 - 16" NO LEDGE ENCOUNTERED GROUNDWATER @ 67" MOTTLING @ 22" RESTRICTIVE LAYER @ 22" PERC RATE=10.1-20.0 MIN/IN TOTAL DEPTH=67"
0-11" TOPSOIL
11"-19" FINE SANDY LOAM 19"-60" MODERATELY COMPACT LOAMY FINE SAND, SOME STONE, WET NO LEDGE ENCOUNTERED GROUNDWATER @ 60" MOTTLING @ 19" RESTRICTIVE LAYER @ 19" TOTAL DEPTH=68" 0-12" TOPSOIL 12"-20" FINE SANDY LOAM 20"-64" MODERATELY COMPACT LOAMY FINE SAND, WET NO LEDGE ENCOUNTERED GROUNDWATER @ 64" MOTTLING @ 20" RESTRICTIVE LAYER @ 20"

DESCRIPTION OF PROPOSED CONSTRUCTION PERCOLATION RATE = 10.1-20.0 MINUTES/INCH

4 BEDROOM SINGLE FAMILY RESIDENCE REQUIRES 787.5 SF OF LEACHING AREA PROVIDE 1 ROW OF 15 MANTIS DOUBLE WIDE 58 UNITS

EFFECTIVE LEACHING AREA = 870 SF

PROVIDE A 1,500 GALLON 2-COMPARTMENT TANK (4 BEDROOMS, PLUS CAPACITY FOR GARBAGE GRINDER, LARGE TUB, OR COMPATIBLE WATER TREATMENT SYSTEM)

SEPTIC SYSTEM CONSTRUCTION SCHEDULE

1.) REMOVE AND STOCKPILE TOPSOIL PLACE MANUFACTURER APPROVED SAND FILL ACCORDING TO CT STATE HEALTH CODE REQUIREMENTS. EXCAVATE TRENCHES AND PREPARE SURFACE.

PLACE LEACHING UNITS IN TRENCH & BACKFILL WITH APPROVED AS RECOMMENDED BY THE MANUFACTURER) PLACE FILTER FABRIC ON TOP OF THE ENTIRE LENGTH OF THE SYSTEM, AND BACKFILL WITH NATIVE MATERIAL.

6.) REPLACE TOPSOIL, SEED & MULCH.

CONSTRUCTION NOTES

1.) BOTTOM OF LEACHING SYSTEM SHALL BE LEVEL THROUGHOUT. UNDER NO CIRCUMSTANCES SHALL ANY LEACHING ROW HAVE A PITCH EXCEEDING 1" PER 50'.

2.) PIPE BETWEEN THE HOUSE AND THE SEPTIC TANK SHALL BE SCH. 40 ASTM D 1785 PVC: THIS PIPE SHALL HAVE A MINIMUM SLOPE OF 0.25" PER 1'.

3.) ALL DISTRIBUTION PIPES TO BE 4" SDR 35 PVC OR POLYETHYLENE PIPE AS SPECIFIED IN SEC. 19-13-B103, TABLE 5 OF THE CT. STATE HEALTH CODE.

4.) ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH CT. STATE HEALTH CODE. 5.) ALL TOPSOIL IN THE LOCATION OF THE PROPOSED SYSTEM SHALL BE REMOVED AND STOCKPILED PRIOR TO EXCAVATION.

6.) FILL MATERIAL FOR SEPTIC AREA IS TO BE SELECT FILL PER CT. STATE HEALTH CODE SPECIFICATIONS. 7.) SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE PLACED ON 6" COMPACTED GRAVEL BASE.

1.) TOTAL AREA OF LOT = $1.39\pm$ ACRES.

2.) LOT IS IN ZONE: COMMUNITY DISTRICT.

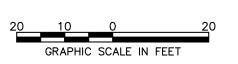
3.) VERTICAL DATUM IS NAVD 88.

4.) THIS PLAN IS VOID AND THE ENGINEER SHALL BE HELD HARMLESS IF THE PROJECT IS CONSTRUCTED BY A CONTRACTOR, NOT PROPERLY LICENSED BY STATE AND LOCAL AUTHORITIES TO PERFORM THE WORK.

5.) UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD

MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY, FIELD MEASUREMENTS AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CHA THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTACT "CALL BEFORE YOU DIG" 1-800-922-4455 TWO (2) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

EDGE OF PAVEMENT EDGE OF GRAVEL _____ ———XXX——— EXISTING CONTOUR _____XXX PROPOSED CONTOUR STONE WALL __^___ RETAINING WALL LIMITS OF INLAND WETLANDS _____ WF# _____X X X FENCE ____ PROPOSED SILT FENCE .~~~~~. PROPOSED TREE LINE TREE LINE OVERHEAD WIRES ______O/W ____ NOW OR FORMERLY UTILITY POLE BOUNDARY POINT DRILL HOLE DH 🔘 IRON MONUMENT CONNECTICUT HIGHWAY DEPARTMENT MONUMENT(CHD) IRON PIPE IRON ROD RRSPK RAIL ROAD SPIKE WELL WATER VALVE



SUBDIVISION APPROVAL	
APPLICATION: #	
APPROVED ON:	
CHAIRMAN OR SECRETARY SIGNATURE	DATE

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> RE-SUBDIVISION PLAN PREPARED FOR:

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PROJECT LOCATION: 94 PLAINE HILL ROAD WOODSTOCK, CT 06268

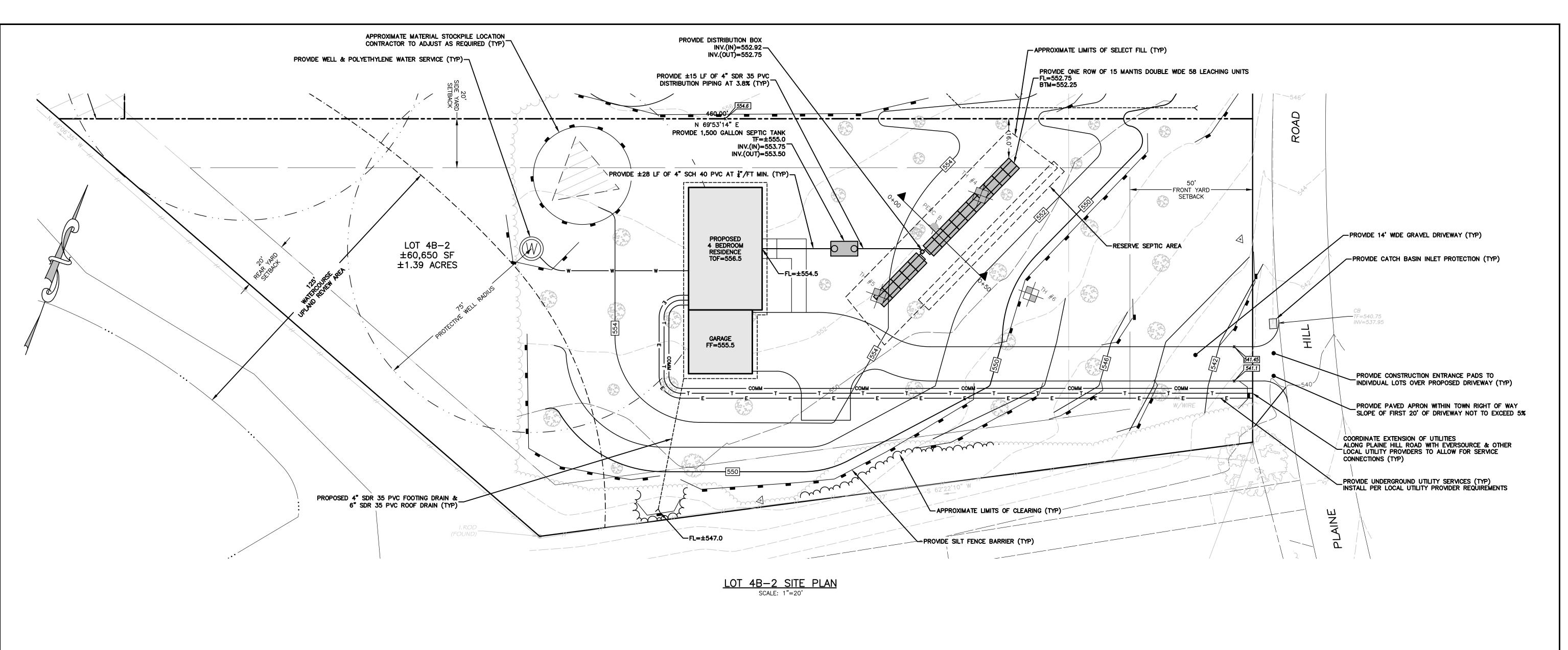
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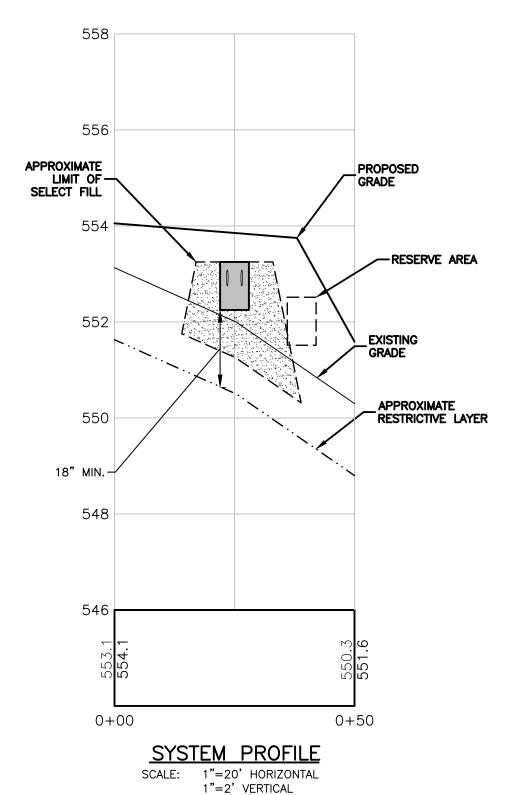
SITE PLAN PROPOSED LOT 4B-1(1.39 AC)

Designed By: Drawn By: Checked B RAC/PMP Issue Date: | Project No: | 071382 | AS NOTE 06/26/2023

Drawing No.:

SHEET 4





TEST HOLE DATA 12/21/2022 OBSERVED BY: MAUREEN MARCOUX, RS (NDDH) & PETE PARENT, PE (CHA) TP #4
TOTAL DEPTH=60"
0-12" TOPSOIL
12"-20" FINE SANDY LOAM, FEW ROCKS 20"-57" MODERATELY COMPACT LOAMY FINE SAND, WET NO LEDGE ENCOUNTERED GROUNDWATER @ 57" MOTTLING @ 20" RESTRICTIVE LAYER @ 20" TP #5 TOTAL DEPTH=69" 0-17" TOPSOIL 17"-29" FINE SANDY LOAM 29"-66" MODERATELY COMPACT LOAMY FINE SAND, WET NO LEDGE ENCOUNTERED GROUNDWATER @ 66" MOTTLING @ 29" RESTRICTIVE LAYER @ 29" TP #6
TOTAL DEPTH=60"
0-13" TOPSOIL
13"-21" FINE SANDY LOAM 21"-54" MODERATELY COMPACT LOAMY FINE SAND, WET NO LEDGE ENCOUNTERED GROUNDWATER @ 54" MOTTLING @ 21" RESTRICTIVE LAYER @ 21"

PERCOLATION DATA PERC A

DEPTH=21.5" 10:16 - 8.25" 10:22 - 11.25" 10:32 - 14.25" 10:42 - 16.5" 10:52 - 18.25" 11:02 - 19.5"

PERC RATE=0-10.0 MIN/IN

MINIMUM LEACHING SYSTEM SPREAD - MLSS FLOW FACTOR = 1.75 (4 BEDROOM SINGLE FAMILY HOUSE) PERC FACTOR = 1.25 (10-20 MIN/IN)
DEPTH TO RESTRICTIVE LAYER = 24" AVERAGE (30" AT SYSTEM, 18" DOWN SLOPE) $SLOPE = \pm 6.2\%$

HYDRAULIC FACTOR $MLSS = FF \times PF \times HF$ = 65.6' REQUIRED LENGTH PROVIDED

<u>DESCRIPTION OF PROPOSED CONSTRUCTION</u>
PERCOLATION RATE = 10.1-20.0 MINUTES/INCH 4 BEDROOM SINGLE FAMILY RESIDENCE REQUIRES 787.5 SF OF LEACHING AREA PROVIDE 1 ROW OF 15 MANTIS DOUBLE WIDE 58 UNITS EFFECTIVE LEACHING AREA = 870 SF

PROVIDE A 1,500 GALLON 2-COMPARTMENT TANK (4 BEDROOMS, PLUS CAPACITY FOR GARBAGE GRINDER, LARGE TUB, OR COMPATIBLE WATER TREATMENT SYSTEM)

SEPTIC SYSTEM CONSTRUCTION SCHEDULE

6.) REPLACE TOPSOIL, SEED & MULCH.

1.) REMOVE AND STOCKPILE TOPSOIL PLACE MANUFACTURER APPROVED SAND FILL ACCORDING TO CT STATE HEALTH CODE REQUIREMENTS. EXCAVATE TRENCHES AND PREPARE SURFACE.

PLACE LEACHING UNITS IN TRENCH & BACKFILL WITH APPROVED AS RECOMMENDED BY THE MANUFACTURER) PLACE FILTER FABRIC ON TOP OF THE ENTIRE LENGTH OF THE SYSTEM, AND BACKFILL WITH NATIVE MATERIAL.

CONSTRUCTION NOTES

1.) BOTTOM OF LEACHING SYSTEM SHALL BE LEVEL THROUGHOUT. UNDER NO CIRCUMSTANCES SHALL ANY LEACHING ROW HAVE A PITCH EXCEEDING 1" PER 50'. 2.) PIPE BETWEEN THE HOUSE AND THE SEPTIC TANK SHALL BE SCH. 40 ASTM D 1785 PVC: THIS PIPE SHALL HAVE A MINIMUM SLOPE OF 0.25" PER 1'.

3.) ALL DISTRIBUTION PIPES TO BE 4" SDR 35 PVC OR POLYETHYLENE PIPE AS SPECIFIED IN SEC. 19-13-B103, TABLE 5 OF THE CT. STATE HEALTH CODE.

4.) ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH CT. STATE HEALTH CODE. 5.) ALL TOPSOIL IN THE LOCATION OF THE PROPOSED SYSTEM SHALL BE REMOVED AND STOCKPILED PRIOR TO EXCAVATION.

6.) FILL MATERIAL FOR SEPTIC AREA IS TO BE SELECT FILL PER CT. STATE HEALTH CODE SPECIFICATIONS. 7.) SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE PLACED ON 6" COMPACTED GRAVEL BASE.

1.) TOTAL AREA OF LOT = $1.39\pm$ ACRES.

2.) LOT IS IN ZONE: COMMUNITY DISTRICT.

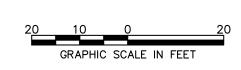
3.) VERTICAL DATUM IS NAVD 88.

4.) THIS PLAN IS VOID AND THE ENGINEER SHALL BE HELD HARMLESS IF THE PROJECT IS CONSTRUCTED BY A CONTRACTOR, NOT PROPERLY LICENSED BY STATE AND LOCAL AUTHORITIES TO PERFORM THE WORK.

5.) UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY, FIELD

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LEGEND PROPERTY LINE ABUTTERS LINE _____ EDGE OF PAVEMENT EDGE OF GRAVEL _____ ————XXX———— EXISTING CONTOUR _____XXX PROPOSED CONTOUR · STONE WALL __^___ RETAINING WALL LIMITS OF INLAND WETLANDS ______ WF# _____X X X FENCE ____ PROPOSED SILT FENCE .~~~~~. PROPOSED TREE LINE TREE LINE OVERHEAD WIRES ______O/W ____ NOW OR FORMERLY UTILITY POLE BOUNDARY POINT DRILL HOLE DH 🕥 IRON MONUMENT CONNECTICUT HIGHWAY DEPARTMENT MONUMENT(CHD) IRON PIPE IRON ROD RRSPK RAIL ROAD SPIKE WELL WATER VALVE



SUBDIVISION APPROVAL
APPLICATION: #
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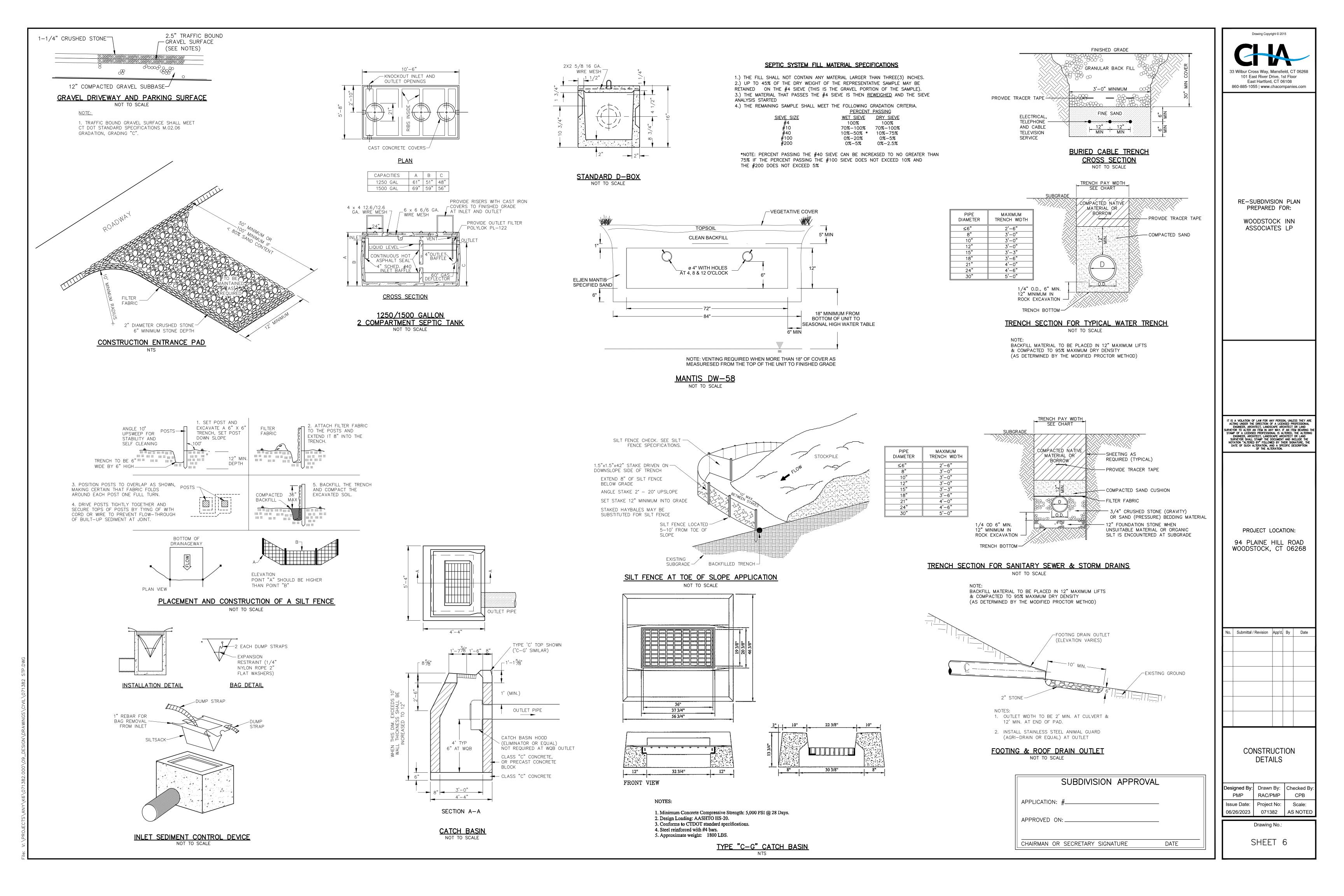
PROJECT LOCATION: 94 PLAINE HILL ROAD WOODSTOCK, CT 06268

No. | Submittal / Revision | App'd. | By | Date

SITE PLAN PROPOSED LOT 4B-2(1.39 AC)

Designed By: | Drawn By: | Checked B RAC/PMP Issue Date: | Project No: | 071382 | AS NOTE 06/26/2023

> Drawing No.: SHEET 5



PROJECT NARRATIVE

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF 2 NEW SINGLE FAMILY HOMES ON ±14.3 ACRES IN THE TOWN OF WOODSTOCK, CONNECTICUT. THE LOCATION OF THE SITE IS ON THE WEST SIDE OF PLAINE HILL ROAD JUST SOUTH OF THE INTERSECTION OF ROUTE 169. THIS PROJECT WILL CONSIST OF RESIDENTIAL HOMES, DRIVEWAYS, AND UNDERGROUND UTILITIES.

IT IS ANTICIPATED THAT APPROXIMATELY 1.5 ACRES OF THE ±14.3 ACRE SITE WILL BE DISTURBED DURING THE CONSTRUCTION OF THE SUBDIVISION.

INDIVIDUAL LOTS WILL BE DEVELOPED AS THEY ARE PURCHASED. THE DATES FOR STARTING AND COMPLETING CONSTRUCTION SHALL COINCIDE WITH THE ABILITY TO VEGETATE AREAS, APRIL 1 THROUGH JUNE 15 AND AUGUST 15 THROUGH OCTOBER 1.

THIS PROJECT REQUIRES THE FOLLOWING PERMITS:
TOWN OF WOODSTOCK INLAND WETLANDS & WATERCOURSES APPROVAL
TOWN OF WOODSTOCK SUBDIVISION APPROVAL
NORTHEAST DISTRICT DEPARTMENT OF HEALTH APPROVAL
ZONING PERMIT FOR INDIVIDUAL LOTS
BUILDING PERMITS FOR INDIVIDUAL LOTS

CONSTRUCTION SEQUENCE FOR INDIVIDUAL LOTS

- A. STAKEOUT LIMIT OF DISTURBANCE.
- B. HOLD A PRECONSTRUCTION MEETING.
- B. HOLD A PRECONSTRUCTION MEETING.
- C. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TWO (2) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.
- D. INSTALL THE CONSTRUCTION ENTRANCE.
- E. INSTALL PERIMETER FILTER (SILT FENCE),
- F. PERFORM ALL NECESSARY CLEARING AND GRUBBING OPERATIONS.
- G. EXCAVATE ALL STUMPS LOCATED IN STRUCTURAL AREAS AND REMOVE TO A DISPOSAL SITE OR STOCKPILE AREA TO BE CHIPPED. STUMPS IN NON-STRUCTURAL AREAS MAY BE GROUND IN PLACE OR CUT FLUSH WITH THE GROUND LEVEL.
- H. STRIP ALL TOPSOIL WITHIN THE FOOTPRINT OF THE CONSTRUCTION SITE.
 STOCKPILE ALL TOPSOIL IN AN APPROVED AREA AND SECURE WITH EROSION AND
 SEDIMENT CONTROLS.
- I. ROUGH GRADE LOT AND DRIVEWAY.
- J. DIG FOUNDATION AND STOCKPILE MATERIAL AS REQUIRED.
- K. PRIOR TO INSTALLATION OF SURFACE WATER CONTROLS SUCH AS TEMPORARY DIVERSIONS AND STONE DIKES, INSPECT EXISTING CONDITIONS TO ENSURE DISCHARGE LOCATIONS ARE STABLE. IF NOT STABLE, REVIEW DISCHARGE CONDITIONS WITH THE DESIGN ENGINEER AND IMPLEMENT ADDITIONAL STABILIZATION MEASURES PRIOR TO INSTALLING WATER SURFACE CONTROLS.
- L. STABILIZE CUT AND FILL SLOPES.
- M. INSTALL SERVICE UTILITIES.
- N. FINISH GRADE DRIVEWAY.
- O. PLACE TOPSOIL WHERE REQUIRED.
- P. FINISH GRADE SIDE SLOPES, SEED AND MULCH.
- Q. CONSTRUCT FOUNDATION AND ERECT STRUCTURES.
- R. UPON SUBSTANTIAL COMPLETION OF THE BUILDING, COMPLETE THE BALANCE OF SITE WORK AND STABILIZATION OF ALL OTHER DISTURBED AREAS.
- S. ALL REMAINING EXPOSED AREAS SHALL BE LOAMED, SEEDED AND MULCHED OR SODDED WITHIN 14 DAYS OF FINAL GRADING.
- T. AFTER SITE IS FULLY STABILIZED REMOVE & DISPOSE OF TEMPORARY EROSION

AND SEDIMENT CONTROLS.

NOTE: SEVERAL OF THE ABOVE ACTIVITIES MAY BE DONE SIMULTANEOUSLY.

HOUSE SITE DEVELOPMENT

- A. PLOT PLANS FOR EACH INDIVIDUAL LOT SHALL BE SUBMITTED TO THE ZONING ENFORCEMENT OFFICER & BUILDING OFFICIAL FOR REVIEW IN ACCORDANCE WITH THE TOWN REGULATIONS. A ZONING PERMIT MUST BE OBTAINED PRIOR TO APPLICATION FOR A BUILDING PERMIT.
- B. PLOT PLANS FOR EACH LOT SHALL INDICATE PROPOSED SEDIMENTATION AND EROSION CONTROLS AND ALSO THE PROPOSED HOUSE LOCATION, LOT GRADING, LIMIT OF TREE CLEARING, DRIVEWAY DESIGN, SANITARY SEWER LOCATION AND SITE DRAINAGE.
- C. TOE OF SLOPE SEDIMENTATION FILTERS SHALL BE INSTALLED PRIOR TO LAND DISTURBING ACTIVITIES.
- D. TOPSOIL AND EXCAVATED SUBSOIL FROM THE FOUNDATION AREA SHOULD BE STOCKPILED WITHIN THE AREA OF DISTURBANCE IF NOT USED FOR ON SITE RE—GRADING. EACH STOCKPILE MUST BE ADEQUATELY RINGED WITH SILT FENCE.
- E. ALL DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY UPON COMPLETION OF ROUGH GRADING.

SEEDING SPECIFICATIONS

- A. IF GROUND HAS BEEN PREVIOUSLY MULCHED, MULCH MUST BE REMOVED OR ADDITIONAL NITROGEN MUST BE ADDED.
- . REMOVE ALL SURFACE STONES 2" OR LARGER AS WELL AS ALL DEBRIS SUCH AS WIRE, CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, CLUMPS, OR OTHER UNSUITABLE MATERIAL.
- C. APPLY FERTILIZER AT 7.5 POUNDS PER 1,000 SQUARE FEET AND LIME AT 200 POUNDS PER 1,000 SQUARE FEET UNLESS SOIL TESTING FOR REQUIREMENTS IS PERFORMED.
- D. NO MOWING IS TO BE UNDERTAKEN UNTIL THE MAJORITY OF THE VEGETATION IS AT LEAST 6" HIGH. MOWING SHOULD CUT THE TOP 1/3 OF VEGETATION. DO NOT UNDER ANY CIRCUMSTANCES CUT VEGETATION BELOW 3".
- E. DO NOT APPLY ANY FORM OF WEED CONTROL UNTIL GRASS HAS BEEN MOWED AT LEAST 4 TIMES.
- GRADING.

 G. PERMANENT SEEDING MEASURES ARE TO BE USED INSTEAD OF TEMPORARY

THESE SEEDING MEASURES ARE NOT TO BE USED ON SLOPES IN EXCESS OF 2:1

SEEDING MEASURES WHERE WORK IS TO BE SUSPENDED FOR A PERIOD OF TIME LONGER THAN 1 YEAR.

H. IF THERE IS NO EROSION, BUT SEED SURVIVAL IS LESS THAN 100 PLANTS PER SQUARE FOOT AFTER 4 WEEKS OF GROWTH, RE—SEED AS PLANTING SEASON

I. ALL DISTURBED AREAS OUTSIDE THE PAVEMENT AREA, WITHIN AND OUTSIDE THE ROAD RIGHT OF WAY, SHALL BE RESTORED IN ACCORDANCE WITH THE CITY/TOWN SUBDIVISION REGULATIONS.

EROSION AND SEDIMENTATION CONTROL NARRATIVE & NOTES

EROSION & SEDIMENT CONTROL OPERATIONS AND MAINTENANCE

- A. EROSION AND SEDIMENTATION CONTROL AND RESTORATION MEASURES SHALL CONFORM TO THE "2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENTATION CONTROL", PUBLISHED BY THE CONNECTICUT COUNCIL OF SOIL AND WATER CONSERVATION AND THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION; AND TO CITY/TOWN REGULATIONS.
- B. INSTALLATION OF SEDIMENT AND EROSION CONTROLS SUCH AS SILT FENCES SHALL BE ESTABLISHED PRIOR TO COMMENCING ANY LAND DISTURBANCE ACTIVITIES.
- C. ALL STOCKPILED MATERIAL SHALL BE RINGED WITH SILT FENCES.
 ANY MATERIAL TO BE STOCKPILED LONGER THAN 14 DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING OR JUTE NETTING.
- D. SILT FENCE SHALL BE PLACED 5-10 FEET FROM THE TOE
 OF ALL CRITICAL SLOPES AS SHOWN ON THE PLAN. THESE SHALL BE CHECKED
 BY THE CONTRACTOR REGULARLY AND REPAIRED WHENEVER THEY FAIL TO ENSURE
 CLEAN RUN-OFF FROM THE SITE.
- E. ADDITIONAL CONTROL MEASURES IF REQUESTED BY THE CITY/TOWN SHALL BE INSTALLED IMMEDIATELY UPON REQUEST.
- F. ALL DISTURBED AREAS SHALL BE PROTECTED WITH A MINIMUM VEGETATION COVER AS SHOWN IN ACCOMPANYING CHART.
- G. THE CONTRACTOR SHALL PLAN ALL LAND DISTURBING ACTIVITIES IN A MANNER

AS TO MINIMIZE THE EXTENT OF THE DISTURBED AREAS.

- H. THE CONTRACTOR SHALL MAKE DAILY INSPECTIONS OF THE SITE TO INSURE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES AND WILL IMMEDIATELY MAKE NECESSARY REPAIRS IF REQUIRED BY THE CITY/TOWN.
- I. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED AT A MINIMUM OF ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.1 INCHES OR GREATER TO DETERMINE MAINTENANCE NEEDS.
- J. ALL EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE REPLACED WITHIN 24 HOURS OF AN OBSERVED FAILURE.
- K. ALL CONSTRUCTION TRAFFIC SHALL ENTER AND LEAVE BY THE DESIGNATED ENTRANCE. THIS ENTRANCE SHALL BE CONSTRUCTED OF CRUSHED STONE TO HELP FREE TIRES OF SOIL WHEN LEAVING THE SITE. THE CONTRACTOR SHALL INSTRUCT ALL VEHICLE DRIVERS TO CLEAN SOIL MATERIAL FROM TIRES IN FRONT OF THE SITE. ALL SOIL, MISCELLANEOUS DEBRIS, OR OTHER MATERIAL SPILLED, DUMPED OR OTHERWISE DEPOSITED ON PUBLIC STREETS, HIGHWAYS, SIDEWALKS OR OTHER PUBLIC THOROUGHFARES DURING TRANSIT TO OR FROM THE SITE SHALL BE REMOVED PROMPTLY.
- L. THE CONTRACTOR HEREBY ACKNOWLEDGES HIS RESPONSIBILITY TO INSTALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ON THIS SITE AND THAT HIS FAILURE TO INSTALL AND MAINTAIN THESE DEVICES COULD RESULT IN FINES OR SUSPENSION OF WORK BY THE CITY/TOWN.
- M. MINIMIZE OR ELIMINATE ANY UNNECESSARY LAND DISTURBANCE OR CLEARING.

SILT FENCE SPECIFICATIONS

PERMITTIVITY

A. SYNTHETIC FILTER FABRIC SHALL BE A PERVIOUS SHEET OF PROPYLENE, NYLON, POLYESTER, ETHYLENE, OR SIMILAR FILAMENTS AND SHALL BE CERTIFIED BY THE MANUFACTURER OR SUPPLIER AS CONFORMING TO THE FOLLOWING MINIMUM REQUIREMENTS:

1. FILTERING EFFICIENCY	75 PERCENT (MIN)
2. GRAB TENSILE STRENGTH	100 POUNDS
3. ELONGATION AT FAILURE	15 PERCENT
4. MULLEN BURST STRENGTH	250 POUNDS PER SQUARE INCH
5. PUNCTURE STRENGTH	50 POUNDS
6. APPARENT OPENING SIZE	0.60mm< X <0.90mm
7. FLOW RATE	0.2 GALLONS PER SQUARE FOOT PER MINUTE

B. STAKES ARE TO BE MADE OUT OF HARDWOOD WITH A MINIMUM CROSS SECTIONAL AREA OF 1.5 SQUARE INCHES OR STEEL POSTS WITH A MINIMUM WEIGHT OF 0.5 POUNDS PER LINEAR FOOT.

9. ULTRAVIOLET RADIATION STABILITY 70 PERCENT AFTER 500 HOURS OF

0.05 PER SECOND (MIN)

- C. TORN OR PUNCTURED GEOTEXTILES SHALL NOT BE USED.
- D. ON SLOPES WHERE SURFACE FLOW FOLLOWS THE SILT FENCE LINE, PERPENDICULAR SILT FENCE CHECKS SHALL BE INSTALLED AT 50 FOOT INTERVALS.
- E. LINES OF SILT FENCE SHOULD FOLLOW CONTOUR LINES 5—10 FEET DOWN GRADIENT FROM THE SLOPE. WHERE CONTOUR LINES CAN NOT BE FOLLOWED PERPENDICULAR WINGS SHOULD BE PLACED AT 50 FOOT INTERVALS.

SUGGESTED SEEDING MIXTURES AND PRACTICES

AREAS WHERE SEED MIX APPLIES	SEEDING MIXTURES BY WEIG	GHT	RATE PER 1,000 SQ. FT.	SEEDING DATES
ALL LAWN AREAS	RED FESCUES KENTUCKY BLUEGRASS PERENNIAL RYEGRASS	45% 45% 10%	1 LBS.	APRIL 1 – JUNE 15 OR AUG. 15 – OCT. 1
ROAD CUTS, FILLS, DIVERSION DITCHES, & STORMWATER BASINS	KENTUCKY TALL FESCUE REDTOP CREEPING RED FESCUE	47% 6% 47%	0.95 LBS.	APRIL 1 — JUNE 15 OR AUG. 15 — OCT. 1
WHERE TREES ARE TO BE	RETAINED, THE SEED MIXTUR	E SHOULD	BE ADAPTED FOR SHADY	CONDITIONS.
TEMPORARY SEEDING	ANNUAL RYEGRASS OR PERENNIAL RYEGRASS		1-1/2 LBS.	WITHIN 7 DAYS AFTER SUSPENSION OF GRADING WORK

GENERAL NOTES

SPECIFICATIONS.

- 1. ELEVATIONS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- 2. INLAND WETLAND BOUNDARIES WERE REVIEWED IN THE FIELD BY SARAH BERRYMAN CERTIFIED SOILS SCIENTIST.
- 3. ALL UTILITIES SHALL BE APPROVED BY LOCAL UTILITY COMPANIES PRIOR TO CONSTRUCTION; ALL UTILITIES SHALL BE CONSTRUCTED TO UTILITY COMPANY
- 4. ALL CONSTRUCTION SHALL BE TO CITY/TOWN SPECIFICATIONS & REGULATIONS.
- 5. NO CHANGES CAN BE MADE TO THESE PLANS WITHOUT THE CITY/TOWN ENGINEER'S APPROVAL.
- 6. CONTRACTOR SHALL OBTAIN ALL REQUIRED LOCAL & STATE PERMITS PRIOR TO BEGINNING ANY CONSTRUCTION.
- 7. FIELD CHANGES SHALL HAVE PRIOR APPROVAL OF THE CITY/TOWN ENGINEER.
- 8. ALL SEPTIC SYSTEMS & HOUSES SHALL BE LOCATED A MINIMUM OF 50' FROM INLAND WETLANDS.
- 9. CONTRACTOR SHALL NOTIFY THE CITY/TOWN ENGINEER OF CONSTRUCTION SCHEDULE SO THAT INSPECTION MAY BE PROVIDED.
- 10. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED ON PLANS HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY, FIELD MEASUREMENTS AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CHA THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO
- 11. CONTACT "CALL BEFORE YOU DIG" AT 1-800-922-4455 TWO (2) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

PERSON RESPONSIBLE FOR MAINTAINING CONTROL MEASURES DURING CONSTRUCTION.
NAME
ADDRESS
TELEPHONE #

MAINTENANCE LOG

PROJECT GROUNDBREAKING

OCATION	DESCRIPTION	DATE	INITIALS
OJECT DATES		DATE	INITIALS

FINAL STABILIZATION

SUBDIVISION APPROVAL

DATE

APPLICATION: #___

APPROVED ON: ___

CHAIRMAN OR SECRETARY SIGNATURE

33 Wilbur Cross Way, Mansfield, CT 0626 101 East River Drive, 1st Floor East Hartford, CT 06108 860-885-1055 | www.chacompanies.com

RE-SUBDIVISION PLAN PREPARED FOR:

WOODSTOCK INN ASSOCIATES LP

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING TO STAMP OF A LICENSED PROFESSIONAL IS ALTERED, THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

PROJECT LOCATION:

94 PLAINE HILL ROAD

WOODSTOCK, CT 06268

lo. Submittal / Revision App'd. By Date

EROSION & SEDIMENTATION CONTROL PLAN

 Designed By:
 Drawn By:
 Checked By:

 PMP
 RAC/PMP
 CPB

 Issue Date:
 Project No:
 Scale:

 06/26/2023
 071382
 1" = 20'

Drawing No.:

SHEET 7