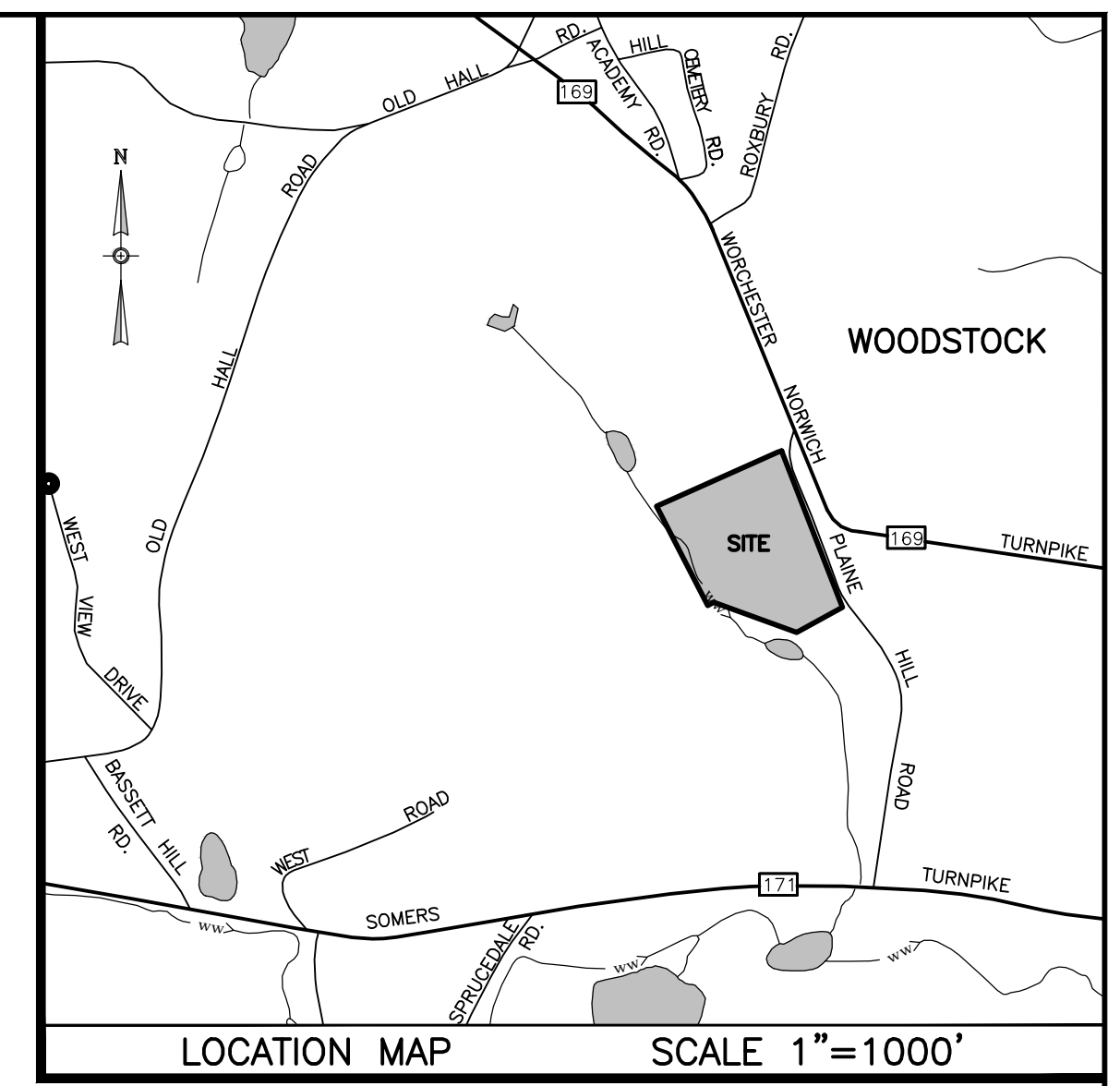


RE-SUBDIVISION PLAN
PREPARED FOR:
**WOODSTOCK INN
ASSOCIATES LP**



MAP REFERENCES

- "SUBDIVISION OF LAND OWNED BY ESTATE OF DOROTHEA S.K. RICHARDSON, PLAIN HILL ROAD & ROUTE 169, WOODSTOCK, CONNECTICUT", SCALE: 1"=60', DATE: MARCH 4, 1986, BY ALBERT L. FITZBACK, L.L.S. ON FILE AS MAP NO. 866
- "PLAN OF LAND OWNED BY ESTATE OF DOROTHEA S.K. RICHARDSON, CONN. ROUTE 171 AND PLAIN HILL ROAD, WOODSTOCK, CONNECTICUT", SCALE: 1"=100', DATE: OCTOBER 18, 1989, BY ALBERT L. FITZBACK, L.L.S. ON FILE AS MAP NO. 1227

NOTES

THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS PREPARED AND ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996 AND AS AMENDED ON OCTOBER 26, 2018.

THE TYPE OF SURVEY PERFORMED IS A BOUNDARY SURVEY CONFORMING TO THE STANDARDS OF ACCURACY FOR A HORIZONTAL CLASS A-2 AND VERTICAL CLASS T-2 AND IS A RESUBJECT PROPERTY.

THIS SURVEY WAS PREPARED TO DEPICT THE EXISTING CONDITIONS OF THE SUBJECT PROPERTY.

3. THE SUBJECT PARCEL WAS CONVEYED TO WOODSTOCK INN ASSOCIATION LP, THROUGH A CONVEYANCE DATED ON 4/14/1986, AND IS RECORDED IN VOLUME 149, PAGE 134 OF THE WOODSTOCK LAND RECORDS.

4. THE SUBJECT PROPERTY IS SHOWN ON THE WOODSTOCK TAX ASSESSOR MAP No. 5781 AS LOT 48 OF BLOCK 50 AND HAS BEEN ASSIGNED ADDRESS OF 94 PLAIN HILL ROAD, WOODSTOCK, CONNECTICUT.

6. ELEVATIONS ARE BASED ON VERTICAL DATUM NAVD88.

7. NORTH IS BASED ON CONNECTICUT STATE PLANE COORDINATE, NAD83 OBTAINED BY GPS OBSERVATIONS AT THE TIME OF THE SURVEY.

8. TOTAL AREA OF PROPERTY = 14.34± ACRES (624,480± SQUARE FEET).

9. SITE IS LOCATED IN THE COMMUNITY DISTRICT ZONE.

10. SITE IS LOCATED IN ZONE C (AREAS OF MINIMAL FLOODING) BASED ON FIRM COMMUNITY PANEL 090120 0026 B EFFECTIVE NOVEMBER 1, 1984.

11. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CHA THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER IN ANY MANNER OR TO ADD OR REMOVE ANY STAMP OF A LICENSED PROFESSIONAL AS ALTERED BY THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

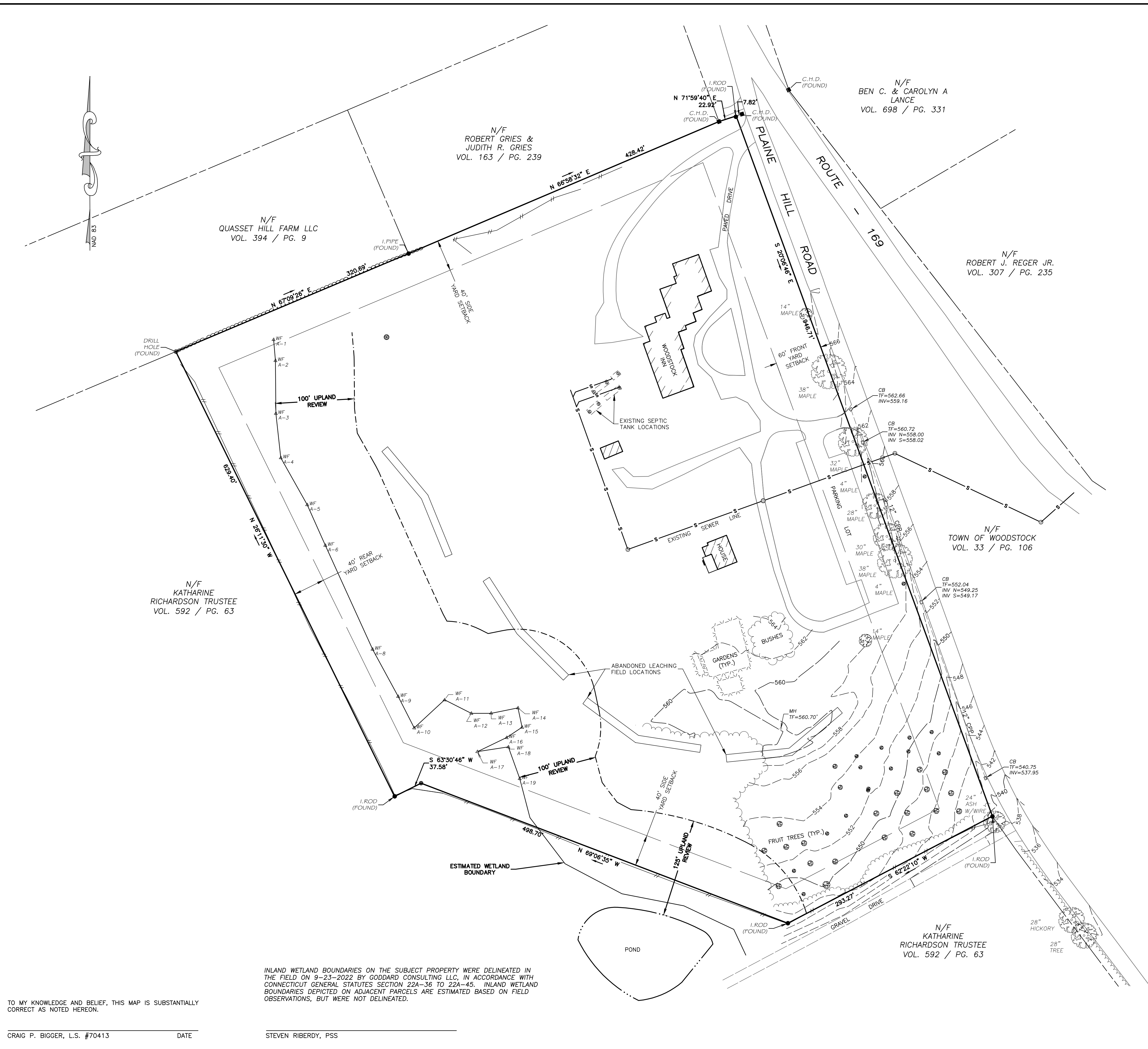
PROJECT LOCATION:
94 PLAIN HILL ROAD
WOODSTOCK, CT 06268

No.	Submital / Revision	App'd	By	Date

EXISTING CONDITIONS

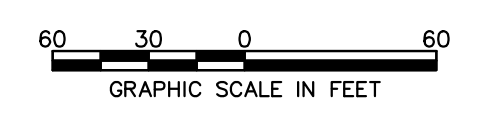
Designed By: PMP	Drawn By: RAC/PMP	Checked By: CPB
Issue Date: 06/26/2023	Project No: 071382	Scale: 1" = 60'

Drawing No.:
SHEET 1



LEGEND

PROPERTY LINE	—————
ABUTTERS LINE	—————
EDGE OF PAVEMENT	—————
EDGE OF GRAVEL	—————
EXISTING CONTOUR	—————
STONE WALL	—————
RETAINING WALL	—————
LIMITS OF INLAND WETLANDS	—————
FENCE	—————
TREE LINE	—————
NOW OR FORMERLY UTILITY POLE	●
BOUNDARY POINT	○
DRILL HOLE	⊙
IRON MONUMENT	●
CONNECTICUT HIGHWAY DEPARTMENT MONUMENT(CHD)	■



SUBDIVISION APPROVAL

APPLICATION: # _____

APPROVED ON: _____

CHAIRMAN OR SECRETARY SIGNATURE _____ DATE _____

INLAND WETLAND BOUNDARIES ON THE SUBJECT PROPERTY WERE DELINEATED IN THE FIELD ON 9-23-2022 BY GODDARD CONSULTING LLC, IN ACCORDANCE WITH CONNECTICUT GENERAL STATUTES SECTION 22A-36 TO 22A-45. INLAND WETLAND BOUNDARIES DEPICTED ON ADJACENT PARCELS ARE ESTIMATED BASED ON FIELD OBSERVATIONS, BUT WERE NOT DELINEATED.

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

CRAIG P. BIGGER, L.S. #70413 DATE _____ STEVEN RIBERDY, PSS

DIMENSIONAL REQUIREMENTS		
COMMUNITY DISTRICT		
SINGLE FAMILY RESIDENTIAL RE-SUBDIVISION		
ZONING CRITERIA	REQUIRED	PROVIDED
MINIMUM LOT AREA	0.75 ACRES	±1.39 ACRES (LOT 4B-2)
LOT FRONTAGE	100'	±132' (LOT 4B-2)
FRONT YARD SETBACK	50' (SUBDIVISION) 60' (NON-RESIDENTIAL)	±75' (LOT 4B-1)
SIDE YARD SETBACK	20'	±28' (LOT 4B-1)
REAR YARD SETBACK	20'	±88' (LOT 4B-2)
OPEN SPACE	25% (3.59 ACRES)	3.94 ACRES
BUILDING HEIGHT	35'	<35'
CURB CUTS	1 CURB CUT PER 200' OF FRONTAGE 946.71' EXISTING FRONTAGE ON PLAINE HILL ROAD, THEREFORE 4 CURB CUTS ARE ALLOWED	4 TOTAL CURB CUTS 2 EXISTING & 2 PROPOSED

MAP REFERENCES

- "SUBDIVISION OF LAND OWNED BY ESTATE OF DOROTHEA S.K. RICHARDSON. PLAINE HILL ROAD & ROUTE 169, WOODSTOCK, CONNECTICUT." SCALE: 1"=60'. DATE: MARCH 4, 1986, BY ALBERT L. FITZBACK, L.L.S. ON FILE AS MAP NO. 866
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- THE TYPE OF SURVEY PERFORMED IS A BOUNDARY SURVEY CONFORMING TO THE STANDARDS OF ACCURACY FOR A HORIZONTAL CLASS A-2 AND VERTICAL CLASS 1-2 AND IS A RESURVEY OF THE SUBJECT PROPERTY.
- THIS SURVEY WAS PREPARED TO DEPICT THE EXISTING CONDITIONS OF THE SUBJECT PROPERTY.
- THE SUBJECT PARCEL WAS CONVEYED TO WOODSTOCK INN ASSOCIATION LP, THROUGH A CONVEYANCE DATED ON 4/14/1986, AND IS RECORDED IN VOLUME 149, PAGE 134 OF THE WOODSTOCK LAND RECORDS.
- THE SUBJECT PROPERTY IS SHOWN ON THE WOODSTOCK TAX ASSESSOR MAP No. 5781 AS LOT 4B OF BLOCK 50 AND HAS BEEN ASSIGNED ADDRESS OF 94 PLAINE HILL ROAD, WOODSTOCK, CONNECTICUT.
- ELEVATIONS ARE BASED ON VERTICAL DATUM NAVD88.
- NORTH IS BASED ON CONNECTICUT STATE PLANE COORDINATE, NAD83 OBTAINED BY GPS OBSERVATIONS AT THE TIME OF THE SURVEY.
- TOTAL AREA OF PROPERTY = 14.34± ACRES (624,480± SQUARE FEET).
- SITE IS LOCATED IN THE COMMUNITY DISTRICT ZONE.
- ON-SITE WETLAND RESOURCES WERE DELINEATED IN THE FIELD ON 09/23/2022 BY STEVEN RIBERDY OF GODDARD CONSULTING.
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CHA. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

LOT HISTORY			
GRANTOR	GRANTEE	DATE	VOL/PG
KATHERINE BURNS, ROBERT E. PRITCHARD, PHYLLIS SMITH, ESTATE OF DORTHEA S. K. RICHARDSON	WOODSTOCK INN ASSOCIATES, L.P.	4/14/1986	149 / 134
ESTATE OF GARDNER RICHARDSON	DORTHEA S. K. RICHARDSON	9/21/1978	96 / 17
HENRY BOWEN WHITE (ESTATE OF HERBERT W. BOWEN)	GARDNER RICHARDSON	8/16/1949	51 / 73
HENRY E. BOWEN, EDWARD A. BOWEN, FRANKLIN A. BOWEN, MARY B. & GEORGE C. HOLT, CLARENCE N. BOWEN, ALICE B. & RICHARD B. RICHARDSON, GRACE A. HARDY	HERBERT W. BOWEN	10/14/1904	37 / 475

RE-SUBDIVISION PLAN
 PREPARED FOR:
 WOODSTOCK INN
 ASSOCIATES LP

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

PROJECT LOCATION:
 94 PLAINE HILL ROAD
 WOODSTOCK, CT 06268

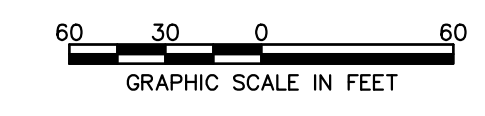
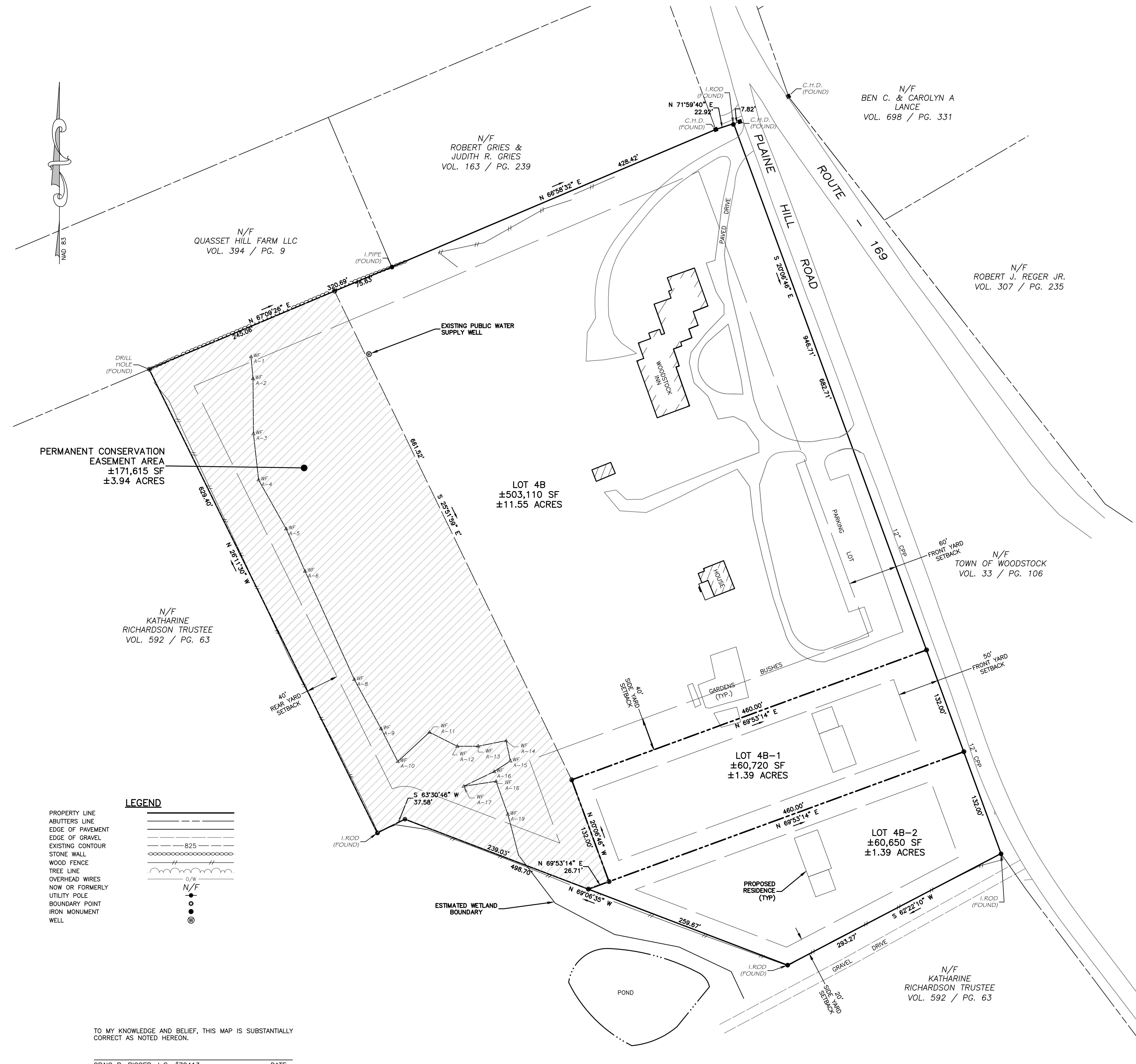
No.	Submital / Revision	App'd.	By	Date

RE-SUBDIVISION PLAN

Designed By:	Drawn By:	Checked By:
PMP	RAC/PMP	CPB
Issue Date:	Project No:	Scale:
06/26/2023	071382	1" = 60'

Drawing No.:

SHEET 2



SUBDIVISION APPROVAL

APPLICATION: # _____

APPROVED ON: _____

CHAIRMAN OR SECRETARY SIGNATURE _____ DATE _____

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

CRAIG P. BIGGER, L.S. #70413 DATE _____

RE-SUBDIVISION PLAN
 PREPARED FOR:
**WOODSTOCK INN
 ASSOCIATES LP**

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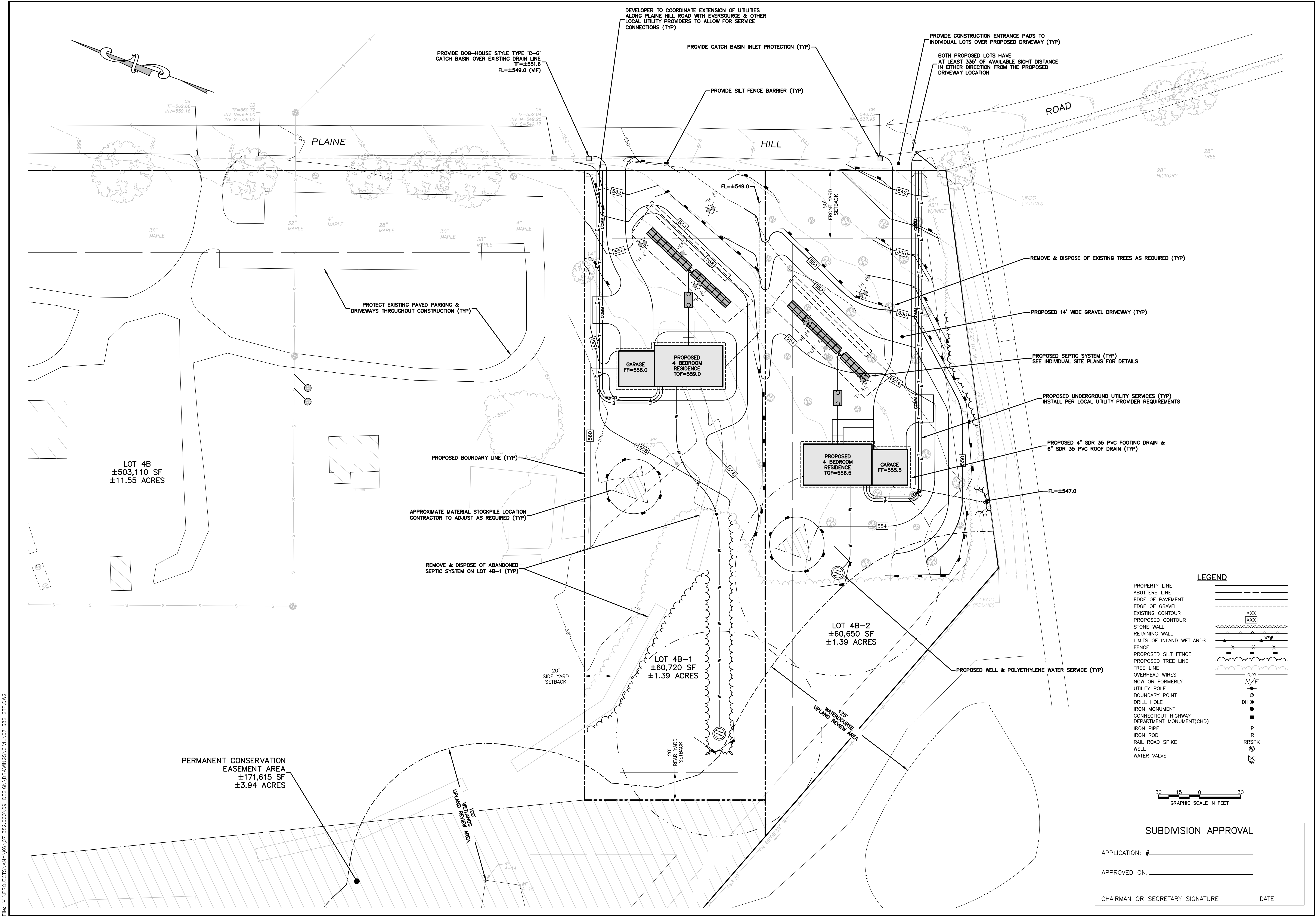
PROJECT LOCATION:
 94 PLAIN HILL ROAD
 WOODSTOCK, CT 06268

No.	Submitted / Revision	App'd	By	Date

OVERALL SITE PLAN

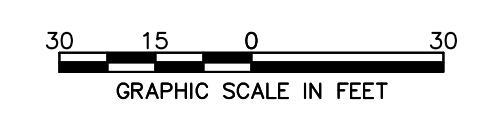
Designed By: PMP	Drawn By: RAC/PMP	Checked By: CPB
Issue Date: 06/26/2023	Project No.: 071382	Scale: 1" = 30'

Drawing No.:
SHEET 3



LEGEND

- PROPERTY LINE
- ABUTTERS LINE
- EDGE OF PAVEMENT
- EDGE OF GRAVEL
- EXISTING CONTOUR
- PROPOSED CONTOUR
- STONE WALL
- RETAINING WALL
- LIMITS OF INLAND WETLANDS
- FENCE
- PROPOSED SILT FENCE
- PROPOSED TREE LINE
- TREE LINE
- OVERHEAD WIRES
- NOW OR FORMERLY UTILITY POLE
- BOUNDARY POINT
- DRILL HOLE
- IRON MONUMENT
- CONNECTICUT HIGHWAY DEPARTMENT MONUMENT(CHD)
- IRON PIPE
- IRON ROD
- RAIL ROAD SPIKE
- WELL
- WATER VALVE



SUBDIVISION APPROVAL

APPLICATION: # _____

APPROVED ON: _____

CHAIRMAN OR SECRETARY SIGNATURE _____ DATE _____

File: V:\PROJECTS\WNY\46\071382\000\09_DESIGN\DRAWINGS\CIVIL\071382_SIP.DWG

RE-SUBDIVISION PLAN
 PREPARED FOR:
WOODSTOCK INN ASSOCIATES LP

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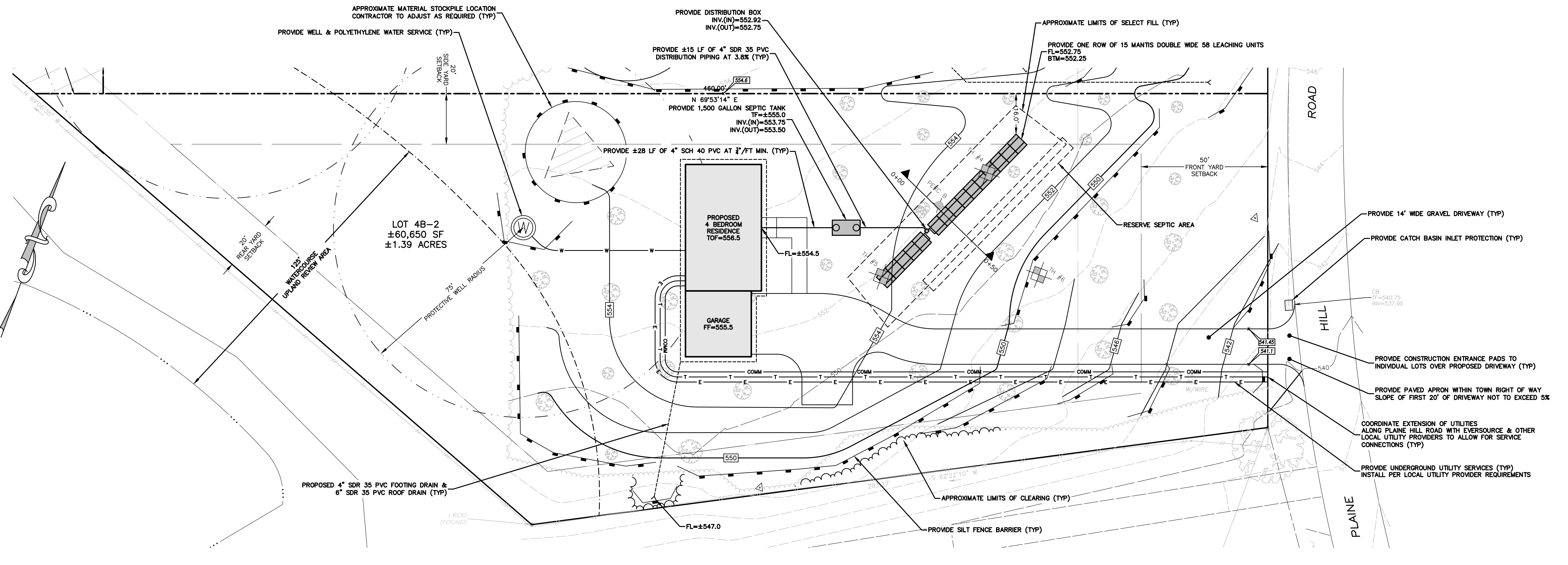
PROJECT LOCATION:
 94 PLAIN HILL ROAD
 WOODSTOCK, CT 06268

No.	Submitted / Revision	App'd.	By	Date

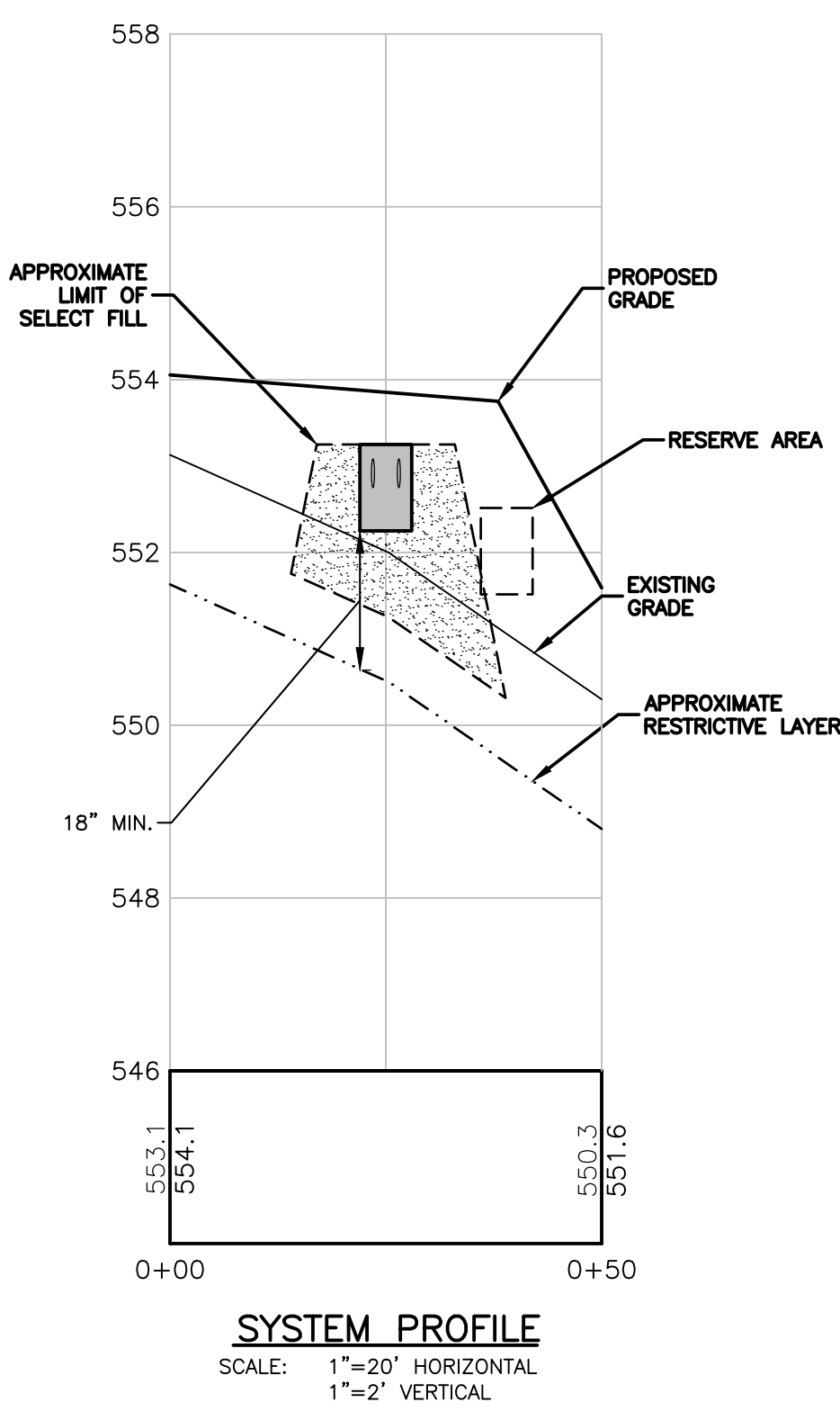
SITE PLAN
 PROPOSED
 LOT 4B-2
 (1.39 AC)

Designed By: PMP	Drawn By: RAC/PMP	Checked By: CPB
Issue Date: 06/26/2023	Project No.: 071382	Scale: AS NOTED

Drawing No.:
SHEET 5



LOT 4B-2 SITE PLAN
 SCALE: 1"=20'



TEST HOLE DATA
 12/21/2022
 OBSERVED BY: MAUREEN MARCOUX, RS (NDDH) & PETE PARENT, PE (CHA)

TP #4
 TOTAL DEPTH=60"
 0-12" TOPSOIL
 12"-20" FINE SANDY LOAM, FEW ROCKS
 20"-57" MODERATELY COMPACT LOAMY FINE SAND, WET
 NO LEDGE ENCOUNTERED
 GROUNDWATER @ 57"
 MOTTLING @ 20"
 RESTRICTIVE LAYER @ 20"

TP #5
 TOTAL DEPTH=69"
 0-17" TOPSOIL
 17"-29" FINE SANDY LOAM
 29"-66" MODERATELY COMPACT LOAMY FINE SAND, WET
 NO LEDGE ENCOUNTERED
 GROUNDWATER @ 66"
 MOTTLING @ 29"
 RESTRICTIVE LAYER @ 29"

TP #6
 TOTAL DEPTH=60"
 0-13" TOPSOIL
 13"-21" FINE SANDY LOAM
 21"-54" MODERATELY COMPACT LOAMY FINE SAND, WET
 NO LEDGE ENCOUNTERED
 GROUNDWATER @ 54"
 MOTTLING @ 21"
 RESTRICTIVE LAYER @ 21"

PERCOLATION DATA
 12/21/2022

PERC A
 DEPTH=21.5"
 10:16 - 8.25"
 10:22 - 11.25"
 10:32 - 14.25"
 10:42 - 16.5"
 10:52 - 18.25"
 11:02 - 19.5"
 PERC RATE=0-10.0 MIN/IN

MINIMUM LEACHING SYSTEM SPREAD - MLSS
 FLOW FACTOR = 1.75 (4 BEDROOM SINGLE FAMILY HOUSE)
 PERC FACTOR = 1.25 (10-20 MIN/IN)
 DEPTH TO RESTRICTIVE LAYER = 24" AVERAGE (30" AT SYSTEM, 18" DOWN SLOPE)
 SLOPE = ±6.2%
 HYDRAULIC FACTOR = 30
 MLSS = FT x PF x HF = 65.6' REQUIRED
 LENGTH PROVIDED = 75'

DESCRIPTION OF PROPOSED CONSTRUCTION
 PERCOLATION RATE = 10.1-20.0 MINUTES/INCH
 4 BEDROOM SINGLE FAMILY RESIDENCE REQUIRES 787.5 SF OF LEACHING AREA
 PROVIDE 1 ROW OF 15 MANTIS DOUBLE WIDE 58 UNITS
 EFFECTIVE LEACHING AREA = 870 SF
 PROVIDE A 1,500 GALLON 2-COMPARTMENT TANK
 (4 BEDROOMS, PLUS CAPACITY FOR GARBAGE GRINDER, LARGE TUB, OR COMPATIBLE WATER TREATMENT SYSTEM)

SEPTIC SYSTEM CONSTRUCTION SCHEDULE

- 1.) REMOVE AND STOCKPILE TOPSOIL
- 2.) PLACE MANUFACTURER APPROVED SAND FILL ACCORDING TO CT STATE HEALTH CODE REQUIREMENTS.
- 3.) EXCAVATE TRENCHES AND PREPARE SURFACE.
- 4.) PLACE LEACHING UNITS IN TRENCH & BACKFILL WITH APPROVED AS RECOMMENDED BY THE MANUFACTURER
- 5.) PLACE FILTER FABRIC ON TOP OF THE ENTIRE LENGTH OF THE SYSTEM, AND BACKFILL WITH NATIVE MATERIAL.
- 6.) REPLACE TOPSOIL, SEED & MULCH.

CONSTRUCTION NOTES

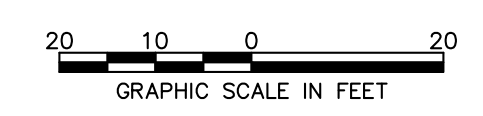
- 1.) BOTTOM OF LEACHING SYSTEM SHALL BE LEVEL THROUGHOUT. UNDER NO CIRCUMSTANCES SHALL ANY LEACHING ROW HAVE A PITCH EXCEEDING 1" PER 50'.
- 2.) PIPE BETWEEN THE HOUSE AND THE SEPTIC TANK SHALL BE SCH. 40 ASTM D 1785 PVC; THIS PIPE SHALL HAVE A MINIMUM SLOPE OF 0.25" PER 1'.
- 3.) ALL DISTRIBUTION PIPES TO BE 4" SDR 35 PVC OR POLYETHYLENE PIPE AS SPECIFIED IN SEC. 19-13-8103, TABLE 5 OF THE CT. STATE HEALTH CODE.
- 4.) ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH CT. STATE HEALTH CODE.
- 5.) ALL TOPSOIL IN THE LOCATION OF THE PROPOSED SYSTEM SHALL BE REMOVED AND STOCKPILED PRIOR TO EXCAVATION.
- 6.) FILL MATERIAL FOR SEPTIC AREA IS TO BE SELECT FILL PER CT. STATE HEALTH CODE SPECIFICATIONS.
- 7.) SEPTIC TANKS AND DISTRIBUTION BOXES SHALL BE PLACED ON 6" COMPACTED GRAVEL BASE.

NOTES

- 1.) TOTAL AREA OF LOT = 1.39± ACRES.
- 2.) LOT IS IN ZONE: COMMUNITY DISTRICT.
- 3.) VERTICAL DATUM IS NAVD 88.
- 4.) THIS PLAN IS VOID AND THE ENGINEER SHALL BE HELD HARMLESS IF THE PROJECT IS CONSTRUCTED BY A CONTRACTOR, NOT PROPERLY LICENSED BY STATE AND LOCAL AUTHORITIES TO PERFORM THE WORK.
- 5.) UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY, FIELD MEASUREMENTS AND FROM OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO CHA THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CONTACT "CALL BEFORE YOU DIG" 1-800-922-4455 TWO (2) WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY.

LEGEND

PROPERTY LINE	---
ABUTTERS LINE	----
EDGE OF PAVEMENT	=====
EDGE OF GRAVEL	-----
EXISTING CONTOUR
PROPOSED CONTOUR
STONE WALL	-----
RETAINING WALL	-----
LIMITS OF INLAND WETLANDS	-----
FENCE	-----
PROPOSED SILT FENCE	-----
PROPOSED TREE LINE	-----
TREE LINE	-----
OVERHEAD WIRES	-----
NOW OR FORMERLY UTILITY POLE	-----
BOUNDARY POINT	-----
DRILL HOLE	-----
IRON MONUMENT	-----
CONNECTICUT HIGHWAY DEPARTMENT MONUMENT(CHD)	-----
IRON PIPE	-----
IRON ROD	-----
RAIL ROAD SPIKE	-----
WELL	-----
WATER VALVE	-----

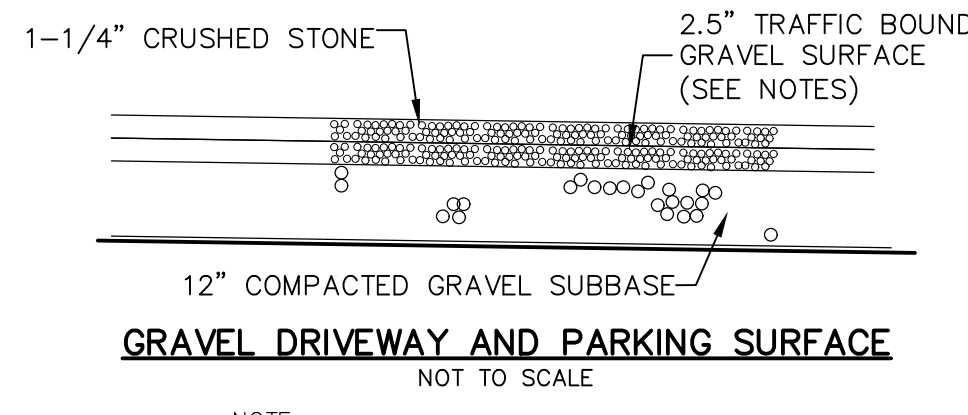


SUBDIVISION APPROVAL

APPLICATION: # _____

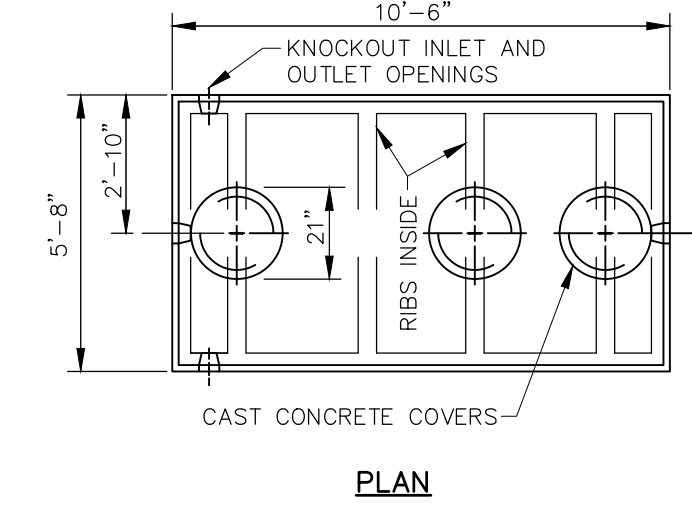
APPROVED ON: _____

CHAIRMAN OR SECRETARY SIGNATURE _____ DATE _____



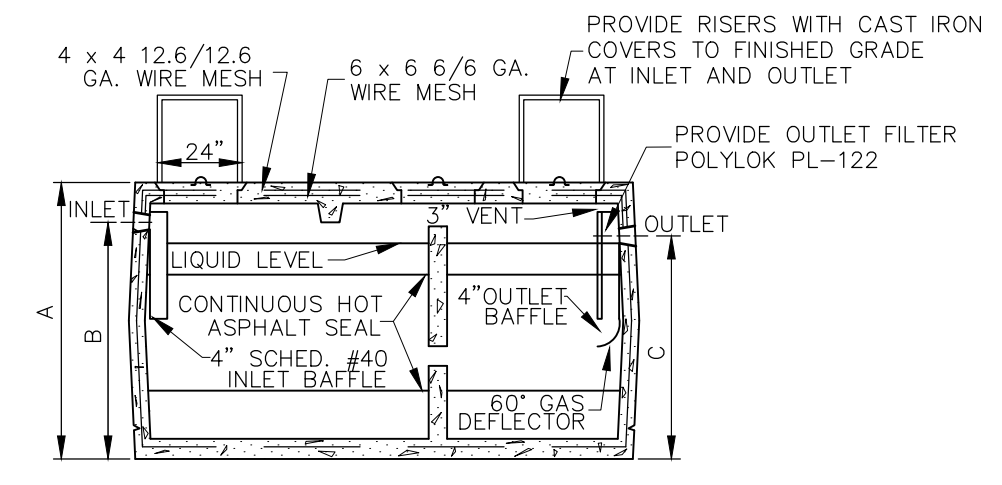
GRAVEL DRIVEWAY AND PARKING SURFACE
NOT TO SCALE

NOTE:
1. TRAFFIC BOUND GRAVEL SURFACE SHALL MEET CT DOT STANDARD SPECIFICATIONS M.02.06 GRADATION, GRADING "C".



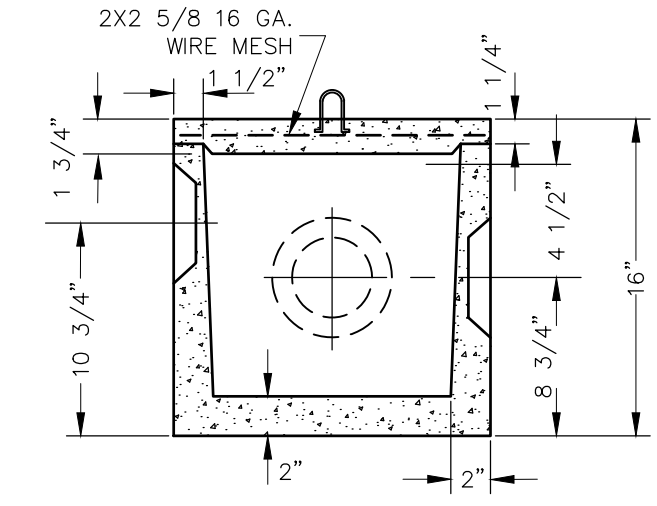
PLAN

CAPACITIES	A	B	C
1250 GAL	61"	51"	48"
1500 GAL	69"	59"	56"



CROSS SECTION

**1250/1500 GALLON
2 COMPARTMENT SEPTIC TANK**
NOT TO SCALE



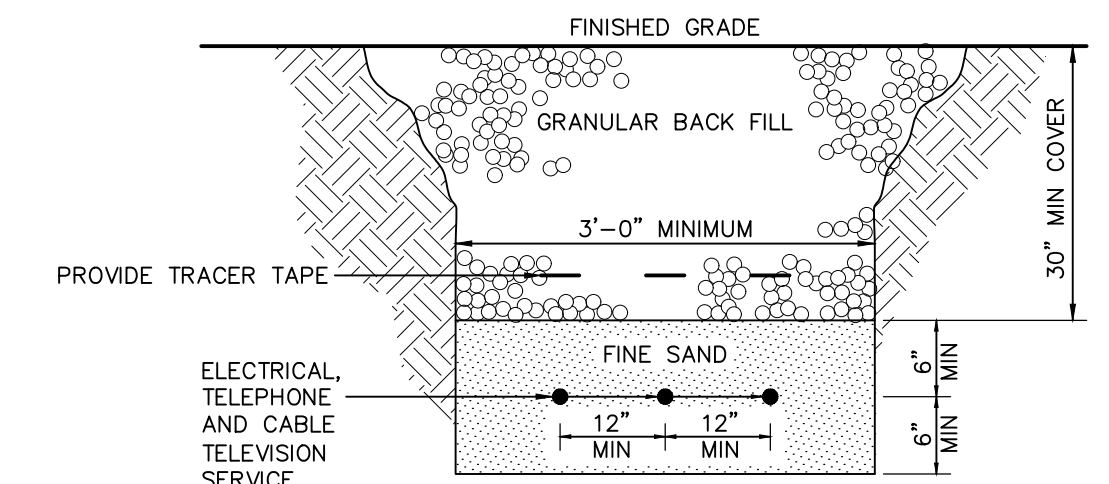
STANDARD D-BOX
NOT TO SCALE

SEPTIC SYSTEM FILL MATERIAL SPECIFICATIONS

- 1.) THE FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THREE(3) INCHES.
- 2.) UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE (THIS IS THE GRAVEL PORTION OF THE SAMPLE).
- 3.) THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED
- 4.) THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA.

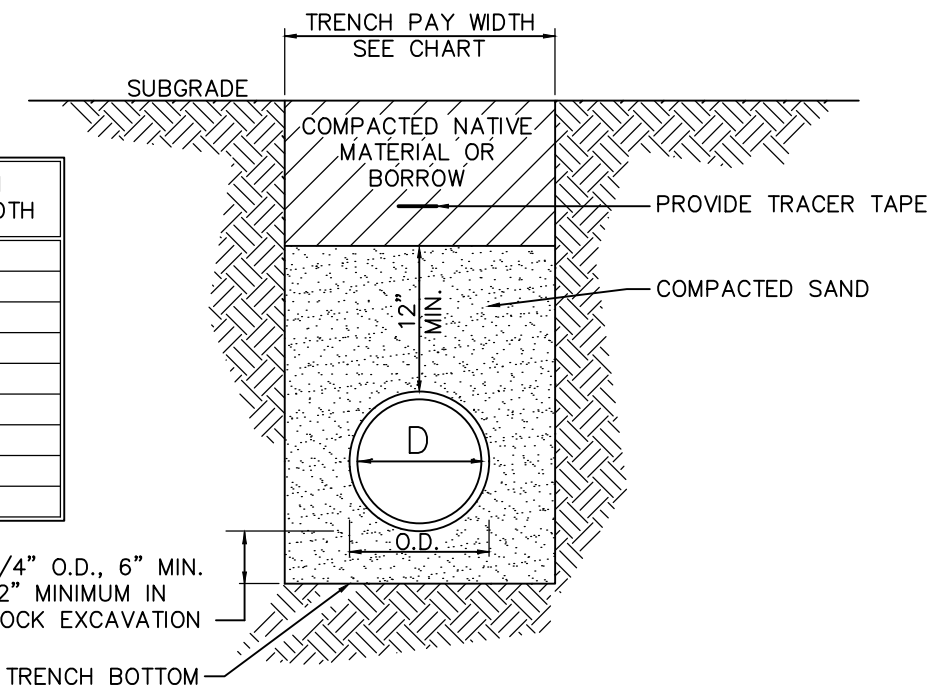
SIEVE SIZE	PERCENT PASSING	
	WET SIEVE	DRY SIEVE
#4	100%	100%
#10	70%-100%	70%-100%
#40	10%-50%	10%-75%
#100	0%-20%	0%-5%
#200	0%-5%	0%-2.5%

*NOTE: PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 DOES NOT EXCEED 5%



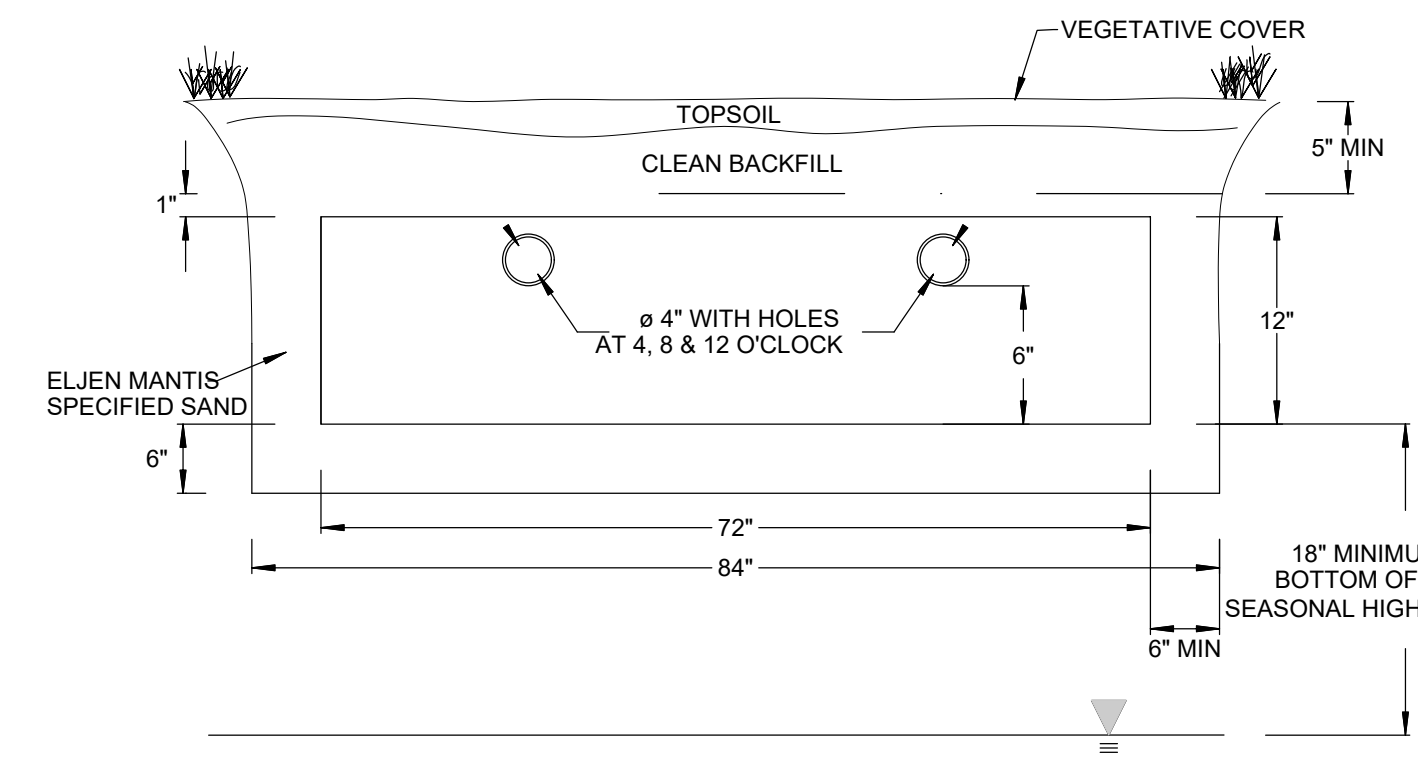
**BURIED CABLE TRENCH
CROSS SECTION**
NOT TO SCALE

PIPE DIAMETER	MAXIMUM TRENCH WIDTH
≤6"	2'-6"
8"	3'-0"
10"	3'-0"
12"	3'-0"
15"	3'-3"
18"	3'-6"
21"	4'-0"
24"	4'-6"
30"	5'-0"



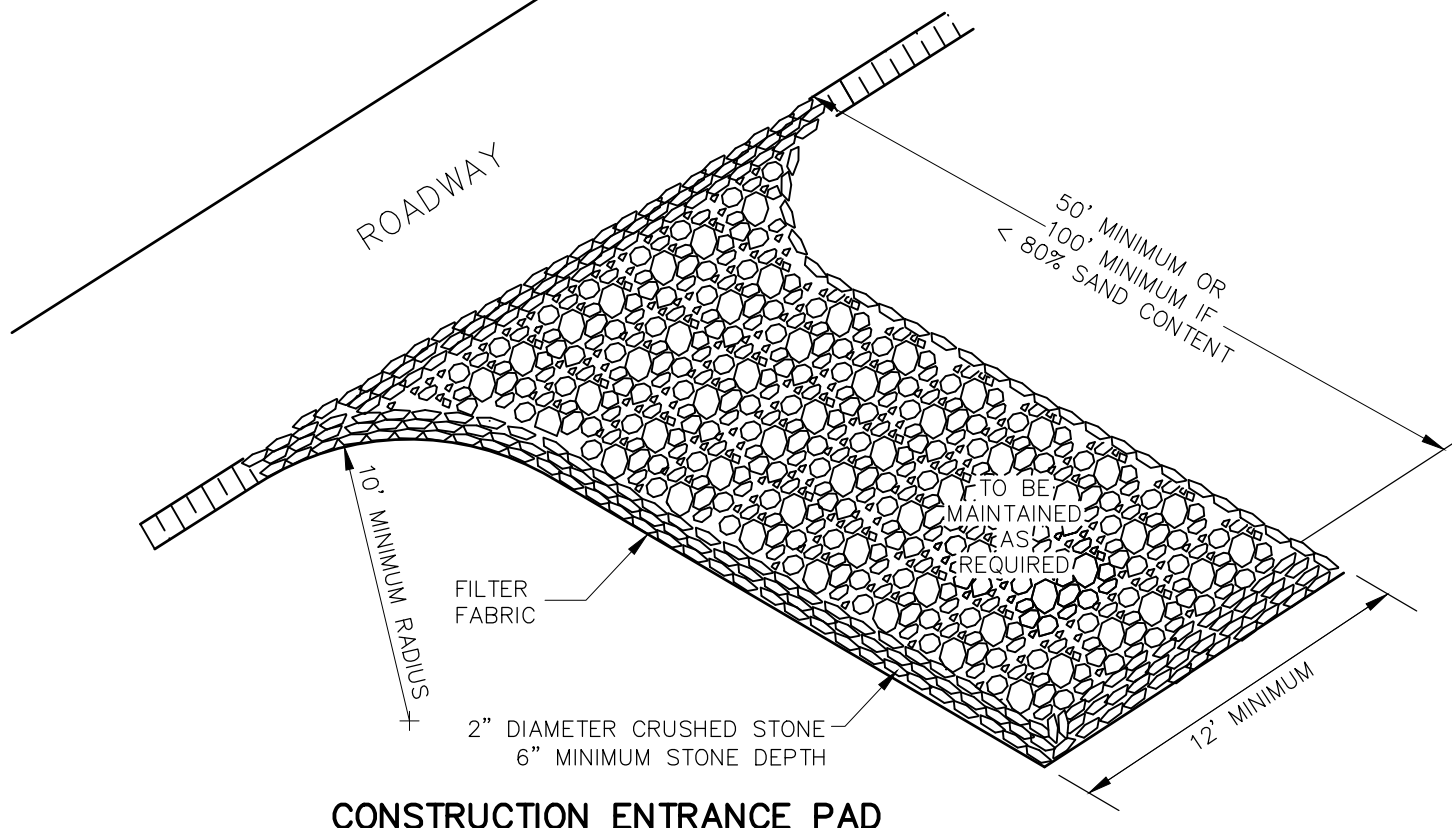
TRENCH SECTION FOR TYPICAL WATER TRENCH
NOT TO SCALE

NOTE:
BACKFILL MATERIAL TO BE PLACED IN 12" MAXIMUM LIFTS & COMPACTED TO 95% MAXIMUM DRY DENSITY (AS DETERMINED BY THE MODIFIED PROCTOR METHOD)

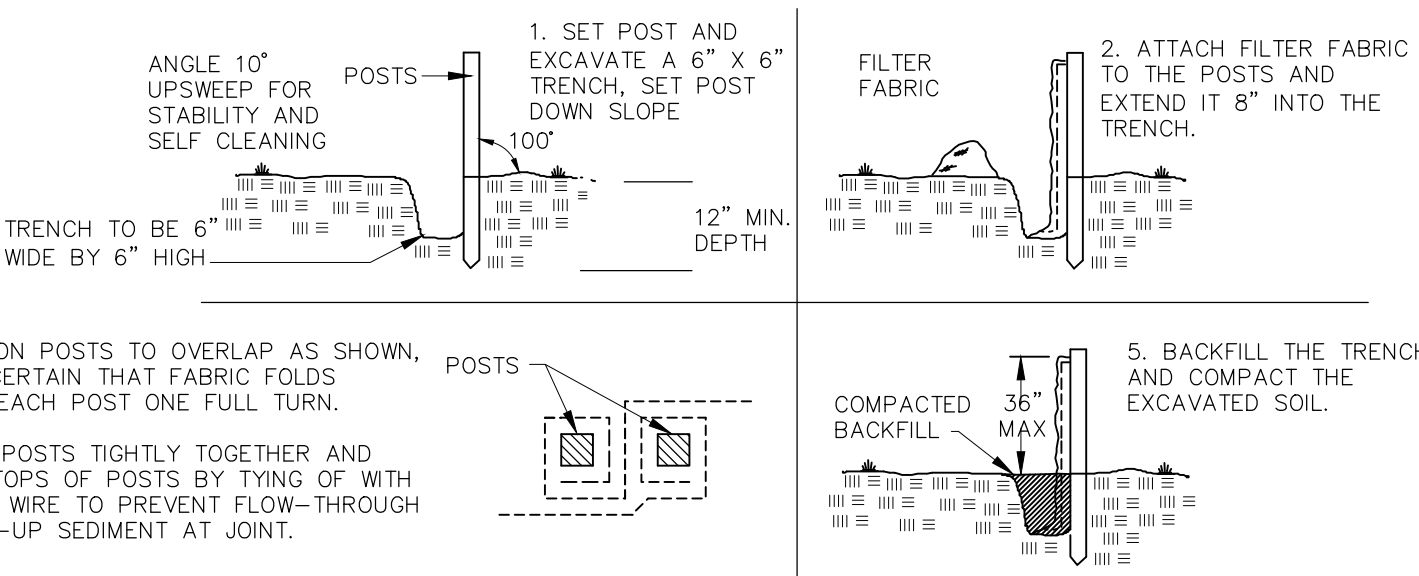


MANTIS DW-58
NOT TO SCALE

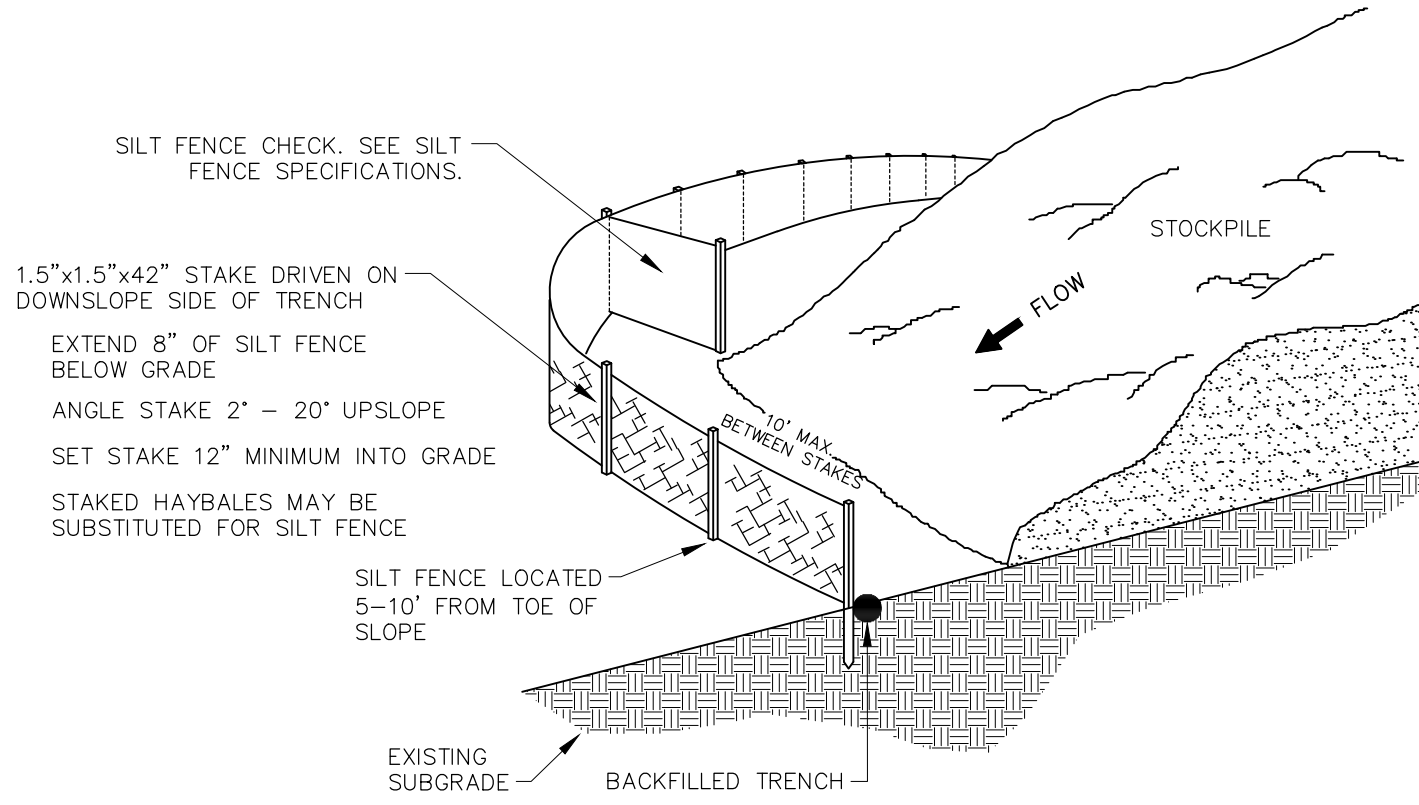
NOTE: VENTING REQUIRED WHEN MORE THAN 18" OF COVER AS MEASURED FROM THE TOP OF THE UNIT TO FINISHED GRADE



CONSTRUCTION ENTRANCE PAD
NTS

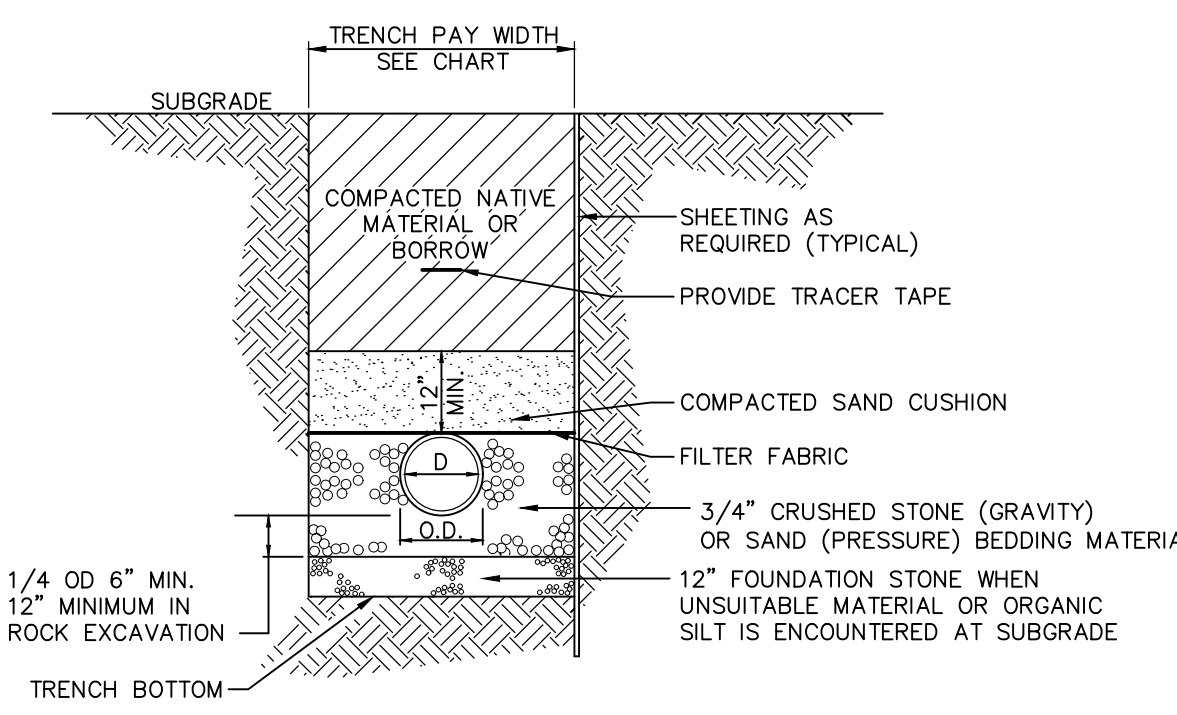


PLACEMENT AND CONSTRUCTION OF A SILT FENCE
NOT TO SCALE



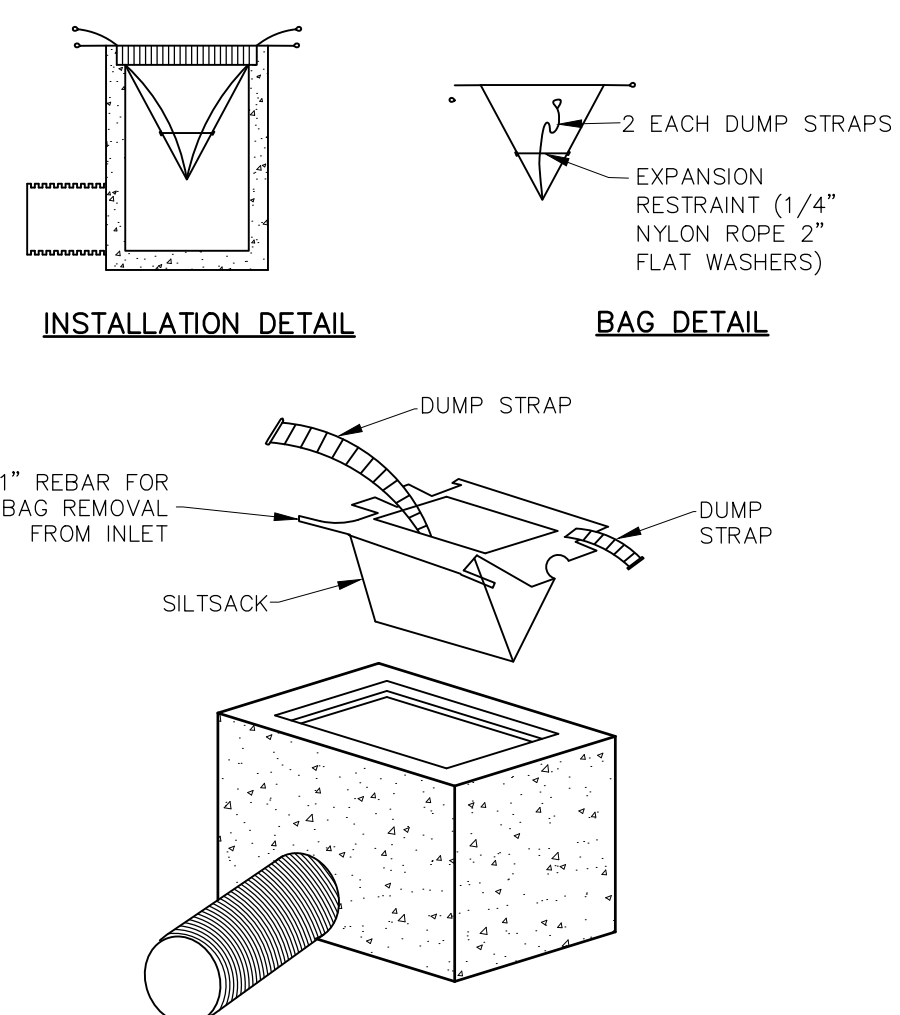
SILT FENCE AT TOE OF SLOPE APPLICATION
NOT TO SCALE

PIPE DIAMETER	MAXIMUM TRENCH WIDTH
≤6"	2'-6"
8"	3'-0"
10"	3'-0"
12"	3'-0"
15"	3'-3"
18"	3'-6"
21"	4'-0"
24"	4'-6"
30"	5'-0"

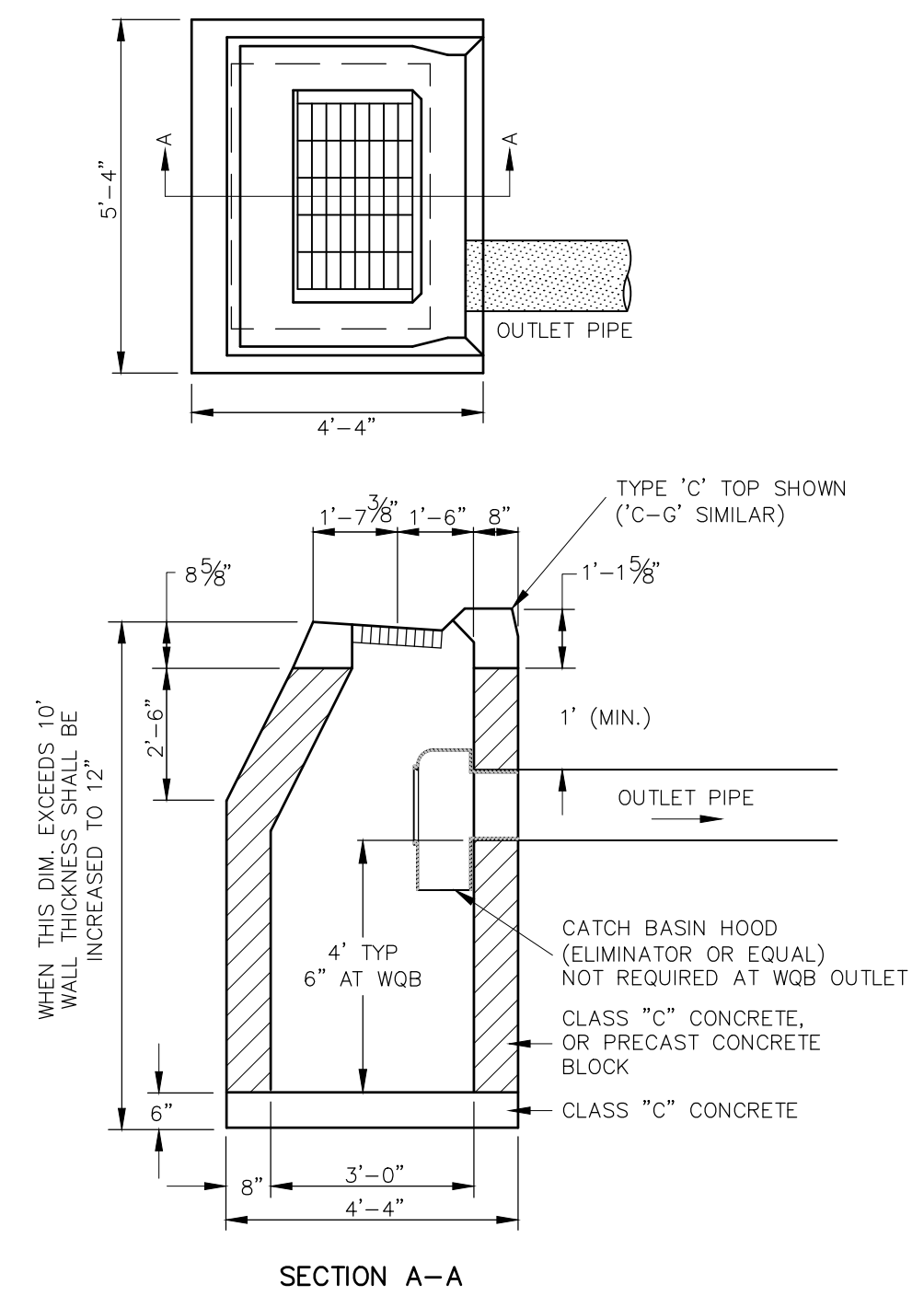


TRENCH SECTION FOR SANITARY SEWER & STORM DRAINS
NOT TO SCALE

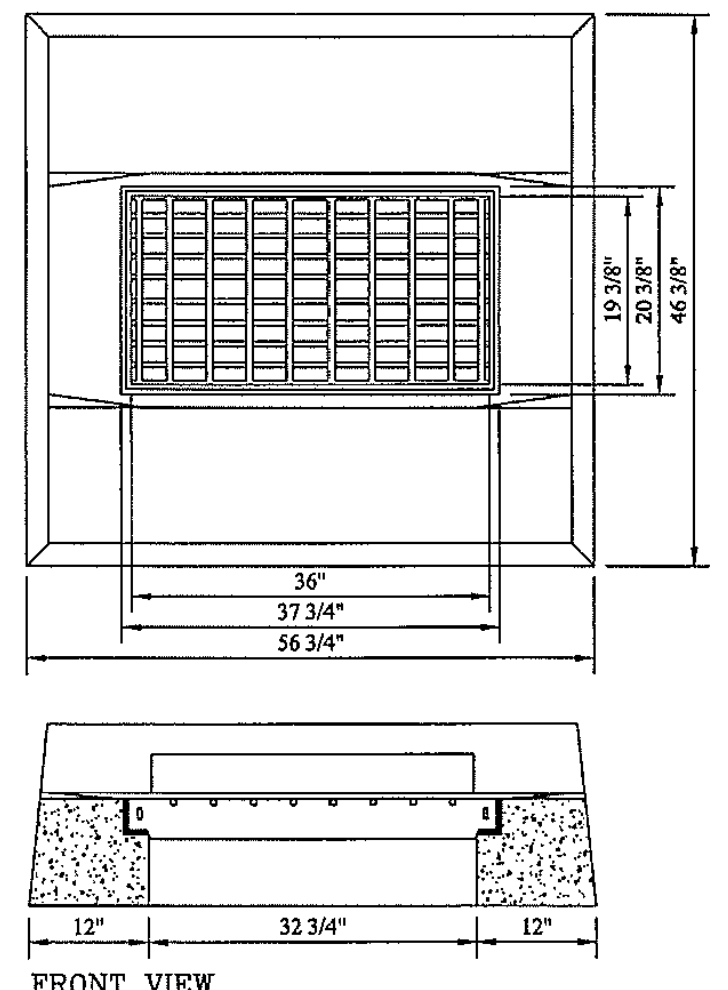
NOTE:
BACKFILL MATERIAL TO BE PLACED IN 12" MAXIMUM LIFTS & COMPACTED TO 95% MAXIMUM DRY DENSITY (AS DETERMINED BY THE MODIFIED PROCTOR METHOD)



INLET SEDIMENT CONTROL DEVICE
NOT TO SCALE



CATCH BASIN
NOT TO SCALE

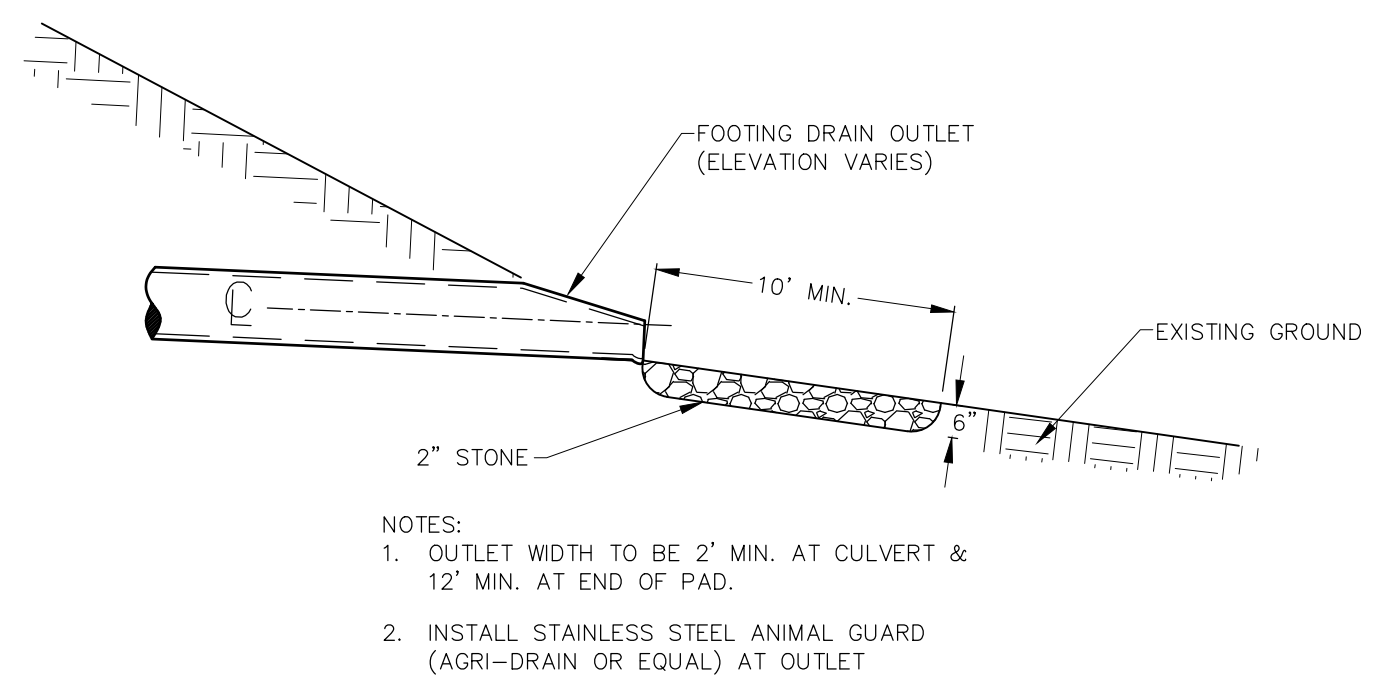


FRONT VIEW

NOTES:

1. Minimum Concrete Compressive Strength: 5,000 PSI @ 28 Days.
2. Design Loading: AASHTO HS-20.
3. Conforms to CTDOT standard specifications.
4. Steel reinforced with #4 bars.
5. Approximate weight: 1800 LBS.

TYPE "C-C" CATCH BASIN
NTS



FOOTING & ROOF DRAIN OUTLET
NOT TO SCALE

- NOTES:
1. OUTLET WIDTH TO BE 2" MIN. AT CULVERT & 12" MIN. AT END OF PAD.
 2. INSTALL STAINLESS STEEL ANIMAL GUARD (AGRI-DRAIN OR EQUAL) AT OUTLET

SUBDIVISION APPROVAL

APPLICATION: # _____

APPROVED ON: _____

CHAIRMAN OR SECRETARY SIGNATURE _____ DATE _____

RE-SUBDIVISION PLAN
PREPARED FOR:
**WOODSTOCK INN
ASSOCIATES LP**

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY IF AN ITEM BEARING THE STAMP OF A LICENSED PROFESSIONAL IS ALTERED. THE ALTERING ENGINEER, ARCHITECT, LANDSCAPE ARCHITECT OR LAND SURVEYOR SHALL STAMP THE DOCUMENT AND INCLUDE THE ALTERNATION "ALtered" BY FOLLOWED BY THEIR SIGNATURE, THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

PROJECT LOCATION:
**94 PLAIN HILL ROAD
WOODSTOCK, CT 06268**

No.	Submittal / Revision	App'd.	By	Date

**CONSTRUCTION
DETAILS**

Designed By:	Drawn By:	Checked By:
PMP	RAC/PMP	CPB
Issue Date:	Project No:	Scale:
06/26/2023	071382	AS NOTED

